

Project # 25-RZ-002

# Inverrary Residential P.U.D. City Of Lauderhill, Florida



Submitted to:  
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## Section I: P.U.D. Justification

### A. Introduction and Proposed Application

This application, for rezoning to Planned Unit Development, is filed on behalf of Pulte Home Company, LLC (the applicant) for the redevelopment of portions of the Inverrary property (subject property), generally located on the west side of Rock Island Road, south of N.W. 44th Street and is partially bisected by Inverrary Boulevard (east and west sides of the right of way). Pulte Home Company, LLC. Is the contract purchaser of the property, from the current landowner, Victorville West Limited Partnership. The purpose of the application is to redevelop portions of the vacant closed former Inverrary Country Club property. The overall property is approximately 295 acres and has been closed to the public for a number of years. The applicant is proposing to rezone approximately 129 net acres of the overall property to a new residential Planned Unit Development zoning designation. The balance of the property is to maintain its existing Commercial Recreation Within a Dashed Line Area land use designation, as well as the Commercial Recreation zoning designations and will be redesigned and redeveloped as a new championship eighteen (18) - hole golf course. The site plan for the golf course will be submitted along with additional relevant applications.

The subject property is located within a dashed line area, and has an existing land use designation of Commercial Recreation along with zoning designations of Commercial Recreation (CR) and residual portions of Open Space And Recreational (S-1) in order to re-develop the subject property. The applicant is proposing a land use amendment from CR to Irregular (9) Residential within a dashed line area to develop portions to a new residential community. As indicated, the applicant is also proposing a rezoning of portions of the subject property from Commercial Recreation and Open Space And Recreational to Planned Unit Development (P.U.D.). The redevelopment plan includes the demolition of any remaining existing structures from the closed golf course operations and the construction of new golf facilities. The new community will be a mix of fee simple single family detached homes and attached homes and townhomes. A maximum of 888 residential units will be constructed on the subject property. The 888 residential units will be distributed into six (6) new residential neighborhoods. Each will have their own secured access points from surrounding public roadways. Vehicular access points will be from either Inverrary Boulevard, Inverrary Drive and Rock Island Road.

This Planned Unit Development application will incorporate the planning principals that are required as part of the City's Land Development Code Schedule D, Planned Unit Development District such as:

- This district be utilized to permit great flexibility in the use and design of structures and land in situations where modification of specific provisions of these regulations will not be contrary to the intent and purposes or inconsistent with the comprehensive plan upon which they are based, and will not be harmful to the neighborhoods in which they occur;
- Regulations for Planned Unit Developments are intended to accomplish the purposes of zoning, subdivision, and other applicable City regulations to the same degree that such regulations are intended to control development on a lot-by-lot basis. In view of the substantial public advantages of Planned Unit Development, it is the intent of P.U.D. regulations to promote and encourage development in this form where tracts suitable in size, location, and character for such uses and structures proposed are to be planned and developed in a unified and coordinated manner.

Additional details on how each principle and code section is addressed is provided within the Justification Statement Section of this document.

In addition to this application, the applicant will also be filing for site plan approval and boundary plat approval. A Land Use Plan Amendment application, file number 25-LU-002 is currently under review by the City of Lauderhill. The applicant acknowledges that approval of any applications is contingent upon the approval of the Land Use Plan Amendment application.. The applicant has requested that all applications be heard concurrently on the same public hearing schedule, with the land use plan amendment being the first item on the agenda, followed by the P.U.D. rezoning request, site plan approval and the plat approval.

## B. Surrounding Properties and Compatibility

The property's proposed Inverrary Irregular (9) Residential land use designation is compatible with the existing residential uses surrounding it. The entire existing Inverrary Irregular (9) Residential land use area, spans south from 44th Street south to West Oakland Park Boulevard, extends west to Inverrary Boulevard West and then east to the Rock Island Road. The existing residential communities within this dashed line area all are designated Irregular (9) Residential. The applicant is proposing to amend approximately 129 net acres from prior closed golf course use, Commercial Recreation, to the Inverrary Irregular (9) Residential land use.

Outside of the Inverrary Irregular (9) Residential land use area there is a mix of land uses such as Low (5) Residential, Low Medium (10) Residential, Medium (16) Residential as well as supporting Commercial land uses on West Oakland Park Boulevard. Internally and within the Irregular dashed line (9) Residential areas of the property, wide landscape buffers are proposed in locations that are directly adjacent to existing high density residential zoning districts and the proposed P.U.D. residential areas. These wide landscape buffers are proposed to be thirty (30) feet and higher and serve as transitions to surrounding higher density existing communities. For example, thirty (30) and forty (40) - foot landscape buffer areas are proposed adjacent to existing communities with RM-18, Residential Multi-Family, and RM-45, Residential Multi-Family, respectively. This design principle is done intentionally in order to provide maximum separation and transitional buffers from the proposed P.U.D. areas. A Conceptual Master Site Plan is included within this P.U.D. application indicating these transitional buffer areas, adjacent to the properties to be rezoned.

Additional, details will be provided within the site plan sets to be submitted as part of this application set. Certain transitional buffer areas will also serve as semi-public greenway parks with fitness trails that can be accessed by the existing Inverrary residents and the proposed new residents within the proposed P.U.D. residential areas. Landscaping and perimeter fencing will be proposed in areas to keep the new residential P.U.D. community private from the surrounding existing Inverrary residential communities. Finally, per the City of Lauderhill Land Development Code Schedule D, Section 5.0504, a 25' setback is to be maintained from all public road rights of ways and the general perimeter within a Planned Unit Development. This setback is met and exceeded with the indicated perimeter buffer areas and home setbacks.

A summary of zoning and land uses of surrounding properties is provided below:

<b>Adjacent property to the:</b>	<b>Land Use Designation</b>	<b>Zoning Designation</b>	<b>Existing use(s) of Property</b>	<b>Approved use(s) of Property</b>
NORTH	Irregular (9) Residential & Commercial Recreation (In certain locations)	CR, RM-18, R M - 4 5 , RM-45(SRF O), RM-22, UT, S-1	Mixed residential & F.P.L. Substation	Residential & Utility
SOUTH	Irregular (9) Residential	Canal C13, Past canal - RM-18, PO, R M - 4 5 , R M - 1 8 , RM-8, CR	Mixed residential, municipal, offices	Residential, corporate park, municipal parks.
EAST	Irregular (9) Residential, & Commercial Recreation (In certain locations)	S-1, Florida Turnpike / Lauderdale Lakes	Golf course clubhouse	Golf course
WEST	Irregular (9) Residential, & Commercial Recreation (In certain locations)	S - 1 , C R , RM-18	Golf course clubhouse & Mixed residential	Golf course & residential

### **C. City of Lauderhill Land Use Plan**

The following is a brief summary of how the proposed Inverrary Residential Community Redevelopment application submittal conforms to City Comprehensive Plan Land Use Element. . See below for how the application adheres to and addresses Land Use Element Objective 1.1. 2040 Future Land Use Map.

#### **SUB - POLICY 1.1.1.2 RESIDENTIAL DENSITIES (Reference specific to bullet 5 - the Inverrary Irregular (9) Dashed Line Area below)**

Residential development is allowable in the City of Lauderhill, subject to the following density requirements:

#### **5. INVERRARY**

- a) Residential development shall be restricted to the densities allowed by the Stipulated Settlement Agreement (Case number 78-4889 "J" Johnson) and its subsequent modification (Case number 78-4889 Roasbeck).

**Response:** Applicant is not proposing an increase to the density that is allowed within the Inverrary Irregular (9) Dashed Line area. Applicant is proposing a portion of the remaining density to the affected areas for the proposed Inverrary residential P.U.D. Of the remaining 1,142 dwelling units available, the applicant is requesting 888 dwelling units to be allocated to the affected area P.U.D. areas.

- b) Parcels currently developed with residential uses, shall be vested with at least their existing number of dwelling units and platted number of dwelling units, as identified within the Inverrary Planned Unit Development Density Analysis, updated September 2018.

**Response:** Acknowledged. Applicant is not proposing any amendments or modifications to any existing residential areas.

- c) The Inn at Inverrary and the Inverrary Racquet Club shall be vested with 64 and 111 dwelling units, respectively, the boundaries of which are depicted on Map 2-8-2: Existing and Platted Dwelling Units in Inverrary which is included as Appendix A .

**Response:** N/A. Applicant is not proposing any modification to the density for the Inn at Inverrary and the Racquet Club. Of the remaining 1,142 dwelling units available, the applicant is requesting 888 dwelling units to be allocated to the affected area residential P.U.D. areas. There is density remaining from what was already previously approved in the Inverrary Irregular (9) Dashed Line Area.

- d) When dwelling units are redistributed within Inverrary (via site plan and plat note approvals, future land use and zoning changes) the Planning and Zoning Department shall amend the Future Land Use Map to reflect such changes. The nature of the change and reference to any ordinance or resolution that generated the change shall be noted on the map.

**Response:** Acknowledged. Applicant is processing a LUPA and P.U.D. rezoning application as per these parameters and requirements. An allocation of previously approved available density is being requested on vacant areas within the Inverrary Irregular (9) Dashed Line Area. A portion of the previously approved residential density is being distributed to the affected areas of these applications.

**Future Land Use Element Policy 1.21.1 Functional Mix of Uses:** The City shall encourage the establishment of functionally mixed land uses through development, redevelopment, and urban infill activities.

**Response:** This amendment will allow for the construction of an infill development to redevelop an abandoned golf course with a mixed-use residential community, a new golf course and clubhouse and public park. The P.U.D. provides the vehicular for innovative compact design in a infill application.

**Housing Element Objective 1: Adequate Housing Sites:** The City shall provide for the locations of approximately 1,000 additional new housing units by the year 2040 to meet present and future housing needs.

**Response:** This project will add an additional 888 housing units to the City's housing stock to meet the needs of future housing demands. In addition, the P.U.D. rezoning will provide a wide range of housing types not currently available within the City that meets market demands of today's prospective home buyer. Finally, the proposed P.U.D. provides the opportunity of a wide range of housing types not currently allowed by the traditional City code requirements.

**Infrastructure Element Policy 2.1.1:** No development orders will be issued for new development which would result in an increase in demand on deficient facilities prior to completion of improvement needed to bring the facility up to standard.

**Response:** The level of service analyses provided throughout this amendment demonstrate there is sufficient capacity for all public facilities to service the Project and it will not result in a decrease in the level of service.

**Recreation and Open Space Element Policy 2.2:** The City shall require developers to provide open space and private recreation facilities in all new development projects which exceed 8 units per acre.

**Response:** The Project provides +/- 20 acres of private recreation area for the residents, as well as a +/- 10-acre semi - public park, and a new golf course and practice area that are open to the general public. See master site plan set for details on land area tabulations.

## **D. Planned Unit Development Application Requirements**

The following is a brief summary of how the proposed Inverrary Residential Community Redevelopment application submittal conforms to the code and application requirements of City of Lauderhill P.U.D.. See below for how the application adheres to Article IV, Section 2.4 and Schedule D of the City of Lauderhill Code.

### **A. Article IV, Section 2.4 Basis For Recommendations**

In reviewing and formulating recommendations to the City Commission on requested or proposed changes in the zoning district regulations, the Planning and Zoning Board shall consider and evaluate the changes in relation to all pertinent factors, including the following:

1. Section 2.4.1. The character of the district and its peculiar suitability for particular uses.

**Response:** The Inverrary golf course has been closed and vacant for a number of years. The proposed residential development, by P.U.D., is suitable with the surrounding compatible existing residential Inverrary communities. The predominant surrounding character of the areas around the proposed P.U.D. is residential with supporting nonresidential uses. Major non-residential corridor and uses exists to the south on West Oakland Park Boulevard. Since the property consists of over 295 acres, and a portion of it will remain as a golf course, a P.U.D. zoning district is the best way to manage a cohesive plan of development that will fit the characteristics of the surrounding communities.

2. Section 2.4.2. Conversion of the value of buildings and encouraging the most appropriate use of land and water throughout the City.

**Response:** The proposed conversion from vacant closed golf course to a new residential community encourages the most appropriate use of the land, as the balance of the Inverrary golf course property will be redeveloped and redesigned to a new championship golf course (by others). The proposed residential P.U.D. is a strong supporting use for the future redesigned golf course uses. The property owner and home builder have negotiated a balance of redevelopment uses, which will be symbiotic in nature. The existing club house and associated improvements have deteriorated over time as a result of lack of use. They will be demolished and replaced with a new club house and golf course. The design of the new development will take into consideration the existing and important water features within the property.

3. Section 2.4.3. The applicable portions of the adopted City comprehensive plan and programs such as land use, trafficways, recreation, schools, neighborhoods, drainage and housing, and so forth.

**Response:** The proposed residential P.U.D. adheres to and supports many of the objectives of the City of Lauderhill Comprehensive Plan. For example, the proposed P.U.D. supports Policy 1.1.1. Residential Uses, as a wide mix and range of housing types is proposed to support the City's permanent and seasonal population. Also per Sub-policy 1.1.1.2 Residential densities, the Inverrary Irregular (9) Residential serves as a density transition from surrounding Land Use Designations and densities. Specifically, much of the north Land Uses, north of the Inverrary Irregular (9) Residential area is Low (5) Residential. As the uses progress to the south past the Inverrary Irregular (9) Residential there is a mix of higher density Land Uses, such as Low Medium (10), Medium (16) and Medium - High (25) Residential. The applicant is proposing a Land Use Plan Amendment only for the residential portions of the Inverrary property, which will be consistent with the existing Inverrary Irregular (9) Residential area. The Inverrary Irregular (9) Residential area includes a total of +/- 1,008 gross acres, allowing a total of 9,072 residential dwelling units. There are 7,930 residential dwelling units allocated within the dashed line area, leaving 1,142 units available to be allocated. The applicant is applying for a LUPA for certain sections of the old golf course property to allow for eight hundred, eighty eight (888) fee simple dwelling units. LUPA Application 25-LU-002 includes the analysis of the public facilities / levels of services are addressed for each: trafficways, schools, drainage etc.

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4. Section 2.4.4. The needs of the City for land areas for specific purposes to serve population and economic activities.

**Response:** Per the City of Lauderhill Land Use Plan, Housing Element Objective 1, the City shall provide locations of approximately 1,000 additional new housing units by the year 2040 to meet present and future housing needs. This project will add 888 new housing units to the City housing stock to meet future demands. Furthermore, the golf course is not included in the city's calculation of required open space.

5. Section 2.4.5. Whether there have been substantial changes in the character or development of areas in or near an area under consideration for rezoning.

**Response:** The existing vacant Inverrary golf course has been closed for a number of years. Proposing a new residential P.U.D. on portions of this existing vacant property will provide future housing opportunities to meet demand.

6. Section 2.4.6. The facts and opinions presented to the Planning and Zoning Board through hearings.

**Response:** Acknowledged. Development applications will be heard by Planning And Zoning Board for recommendation to the City Commission.

## B. Schedule D, Section 2 - Intent and Purpose of P.U.D.: Planned Unit Development District

1. Section 2.01. It is intended that this district be utilized to permit great flexibility in the use and design of structures and land in situations where modification of specific provisions of these regulations will not be contrary to the intent and purposes or inconsistent with the comprehensive plan upon which they are based, and will not be harmful to the neighborhoods in which they occur.;

**Response:** The proposed Inverrary Residential P.U.D. proposes a wide range of fee simple housing types, which are compatible with the adjacent properties. The Inverrary Residential P.U.D. is proposing single family detached homes, single family attached homes and attached townhomes. The larger golf estate lots will be located on the west quadrant of the property just south of the to be redesigned eighteen (18) - hole championship golf course. The remaining higher density home types will be located centrally and in the eastern quadrant of the property, adjacent to the existing high density condominiums. Some single family detached homes, similar to the golf estates lots, will be distributed on a limited basis in other pod / neighborhood areas. The highest density neighborhood will be located just west of Rock Island Road, within residential Pod 4. By creating a P.U.D, the applicant will have the ability to modify the type and location of housing types within the new community.

In the locations of the higher density homes wide landscape buffers will serve as transition, as well as useable open space areas for the surrounding existing condominium owners. In certain locations, the transitional buffers will range from thirty (30) - feet to forty (40) - feet in width. These wide buffer tracts will also serve as linear park / greenway areas which will incorporate a fitness trail for use by the new residents, as well as the surrounding Inverrary residents. Fencing and other security measures will be applied to separate these semi - public park areas and the new residential community. These perimeter buffers will provide large landscaped open space tracts which will be large open landscaped areas that are proposed to be aesthetically pleasing and beneficial to the surrounding areas. As provided by the code section, the Planned Unit Development Zoning district “..will not be harmful to the neighborhoods in which they occur” by the use of these transitional buffers, which will also be useable open space in certain locations.

By proposing smaller lots and creating site design efficiencies, within the development area, larger areas of useable open space can be allocated within the community. Also, the efficient design is the mechanism which allows the project to meet the Planned Unit Development minimum open space requirements of thirty (30) percent, which is discussed later within this document. The flexibility that is provided through the implementation of the City of Lauderhill Planned Unit Development code affords the redevelopment the opportunities for allocation of more open space. As previously indicated, the creation of open space provides direct benefit to

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the surrounding communities by the incorporation of large landscape buffers which serve as transitions between communities. These wider buffers, which exceed the landscape code requirements, provide security, privacy and visual screening from surrounding communities; thereby decreasing impacts. By proposing compact design principles, through smaller lots than permitted by City code or reduced road rights of way widths, the result of these efficiency principles are smaller lots which result in lower maintenance costs for future residents and less impervious areas within road rights of way which results in more groundwater recharge and more pervious surface areas.

Utilizing the City's Planned Unit Development codes and implementing compact design principles, allows for more land available for redevelopment of the new Greg Norman Signature golf course. This new golf course will be open to the public and provide a direct benefit to the existing residents of the City of Lauderhill who enjoy the game of golf and do not have to drive to other adjacent municipalities to play an updated golf course. The new clubhouse will also offer the general public opportunities to hold events, such as weddings and other social gatherings for the benefit of the general public, with the backdrop of a Greg Norman Signature golf course. Inverrary, was historically intended to be a planned urban development with the backdrop of the Inverrary Country Club; site of the Jackie Gleason Inverrary Golf Classic. Utilization of the City P.U.D. code continues that historical context and pays tribute to the rich history of the City of Lauderhill.

Finally, the strategic plan for the City provides a long term vision for the City that prioritizes several City initiatives and goals: public safety, health and wellness, beautification and public spaces, economic opportunity and sustainability and fiscal transparency and accountability. Through the feedback from the months of community outreach, the proposed P.U.D. and redevelopment project augments these City initiatives. A summary is provided below on the overall City benefit towards these goals and initiatives.

- **Public Safety**

- The implementation of state-of-the-art security systems, which will include cameras, license plate readers, and real time safety alerts. The new partnership with the City's existing safety system and the latest security technology will help the entire City feel more safe and secure.
- Financial contribution towards the City's acquisition of a civic sight for the potential location of a new fire station.

- **Health & Wellness**

- Promotion of physical wellness and active lifestyle through the new Greg Norman Signature Golf Course for use by the general public.
- Promotion of new environments that support active living through the proposed Inverrary community park area and linear greenway park area.

- **Beautification & Public Spaces**

- Utilization of the City P.U.D. flexible design opportunities to create more open spaces, which enhances, improves and beautifies a large tract of land that has been vacant and underutilized for well over 20 years.
- The revitalization of a portion of the closed golf course and improved green spaces throughout the new development which can be used by existing and new Lauderhill residents.

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- **Economic Opportunity & Sustainability**

- Allowing for the redevelopment of the golf course through the P.U.D. regulations allows for maximum flexibility of design, This flexibility in design leads to the transformation of a once vibrant, now dormant space. Once the homes are complete, the City will have residents (new and existing) prepared to make a positive economic impact on the community as they personalize their new and living spaces.
- The proposed development will strive to utilize sustainable planning and construction principles which will support and be beneficial to the environment. Furthermore, the ability to create a community utilizing the City's P.U.D. regulations allows for the creation of a vibrant community that will give back to the area that provides them with a brand new state of the art community to call home.

- **Fiscal Transparency & Accountability**

- The financial benefits provided to the community are well documented and understood. As a result of this new development, significant contributions to the existing surrounding communities and the City will be made. The months of public outreach that culminated into the project currently being considered is evidence of the open communication needed to achieve the proposed P.U.D.
- The housing types offered in connection with the project could not have been provided through traditional zoning regulations. The flexibility offered by the P.U.D. allows the developer to offer a variety of housing types, in a range of price points that the city can be proud of.

2. Section 2.02. Regulations for Planned Unit Developments are intended to accomplish the purposes of zoning, subdivision, and other applicable City regulations to the same degree that such regulations are intended to control development on a lot-by-lot basis. In view of the substantial public advantages of Planned Unit Development, it is the intent of P.U.D. regulations to promote and encourage development in this form where tracts suitable in size, location, and character for such uses and structures proposed are to be planned and developed in a unified and coordinated manner.;

**Response:** The proposed P.U.D. is very clearly aligned with this goal. The developer intends to develop approximately 129 acres of underutilized real estate sitting vacant under one master developer accomplishes the goal established here. Furthermore, as required for a P.U.D, the plan of development for the property is organized and methodical, allowing for the development of a project in a unified, cohesive and organized manner through the development of individual POD site plans. The proposed P.U.D. regulations are created in a way that controls lot by lot development, but also allows for flexibility in order to respond to market demands. The property development regulations proposed provide the vehicle to propose a wide range of housing types. Very similar to the existing Inverrary residential community, which also has a wide range of housing types. This new community will also provide a wide mix of home opportunities for new residents looking to move to the City of Lauderhill and for existing Lauderhill residents looking for a new home in their existing community. The proposed new Inverrary residential community will have less dense home styles than many existing homes within the Inverrary community. The new community also offers more dense home styles as the development expands east toward towards Rock Island Road. Based upon the fact that the existing eastern home styles are taller than what is proposed, wide landscape buffers are proposed to provide transitions and separation between existing homes and the new proposed homes. None of the new homes will be higher than two - stories. The City P.U.D. regulations affords the redevelopment project the opportunity to provide new housing to the City that is updated and much different than the traditional housing allowed by the City code. The new lot sizes and home styles proposed by Pulte, utilizing the City P.U.D. regulations, meets market demands for prospective home buyers. Recent homeowners are no longer looking for large lots to increase maintenance costs, but rather looking for smaller lots with a focus on the quality of the home and the floorplans. The proposed compact design and

smaller lots provides the mechanics to also keep homeowner's association fees lower, which is another significant focus of today's prospective homeowners.

### C. Schedule D, Section 5 General Requirements And Spatial Regulations

1. Section 5.01. Minimum size. All planned unit developments shall contain a minimum of twenty (20) acres of contiguous land, unless the Planning and Zoning Board finds that a tract which contains less than twenty (20) acres, but not less than ten (10) acres, is suitable as a P.U.D. by virtue of some unusual conditions. This minimum may then be waived by the City Commission, by resolution, upon the recommendation of the Board.

**Response:** The proposed residential P.U.D. is on a portion of the vacant Inverrary Golf Course, within the entire Inverrary Irregular (9) Residential Land Use area, and is approximately one hundred, twenty - nine (129) acres in size. The subject area of the application exceeds the code requirement minimum of twenty (20) - acres.

2. Section 5.02. Maximum area limitations. Pursuant to more specific requirements and regulations as hereinafter prescribed, the following percentages express the maximum land area of the Planned Unit Development that the special land uses may occupy:

- Section 5.0201. Residential: 40% of gross area.

**Response:** The proposed residential P.U.D. will comply with this residential building maximum calculation and will be below this cap. The proposed P.U.D. is approximately 20% residential building area.

- 5.0202. Commercial: 12% of gross area.

**Response:** The P.U.D. application is not proposing any Commercial uses and therefore the 12% maximum will not be exceeded.

- 5.0203. Hospital and Convalescent: 11% of gross area.

**Response:** The P.U.D. application is not proposing any Hospital and Convalescent uses and therefore the 11% maximum will not be exceeded.

3. Section 5.03. Minimum area limitations. Planned Unit Developments shall contain areas at least equal to the following:

- Section 5.0301. Open space: 30% of gross area.

**Response:** The minimum open space calculation of 30% of the P.U.D. area of +/-129 acres or 38.80 acres will be met, per the City Code calculations for open space areas. See included master development plan for details and open space area breakdown.

- Section 5.0302. Governmental Services\*: 5% of gross area.

\*Said land shall be dedicated to the City of Lauderhill in accordance with Section 7.0204 herein

**Response:** No government service site is provided. Applicant is prepared to negotiate a contribution to the City to aid in the City acquisition of land to construct a fire station on a suitable parcel of land.

- 5.04. *Maximum density.*

The maximum gross density of residential dwelling units per acre permitted within any proposed P.U.D. shall not exceed the combined density recommendation of the Comprehensive Plan over the area where a particular P.U.D. is proposed. For the purpose of density calculations, non-residential land uses recommended by the Plan shall be considered as "low-density residential."

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**Response:** N/A. The affected area of the P.U.D. rezoning application is within the overall Inverrary Irregular (9) Residential Dashed Line area. Per bullet #5 of the City Comprehensive Plan Land Use Element, which is the Inverrary section, "When dwelling units are redistributed within Inverrary (via site plan and plat note approvals, future land use and zoning changes) the Planning and Zoning Department shall amend the Future Land Use Map to reflect such changes. The nature of the change and reference to any ordinance or resolution that generated the change shall be noted on the map." The request to rezone to residential will allocate remaining density within the dashed line area. The nine dwelling units per acre cap, within the dashed line, will not be exceeded as this is just an allocation of existing density.

- 5.05. *Minimum lot area, distance between structures, frontage and setbacks*

**Response:** Per City of Lauderhill Code Schedule D Section 1.0 Planned Unit Developments; specifically Section 5.0501 - no minimum lot size shall be required within a Planned Unit Development District. Section 5.0502 provides that no minimum distance between structures shall be required within a Planned Unit Development District. The applicant design team is proposing lot sizes and property development regulations that are common in the southeast Florida market for review and consideration by the City of Lauderhill Development Review Committee staff. This document, as well as the master site plan, includes details of the proposed property development regulations. The proposed property development regulations and setbacks are consistent with other existing P.U.D.'s throughout the southeast Florida market.

- 5.0501. No minimum lot size shall be required within a Planned Unit Development District.

**Response:** The applicant design team is proposing lot sizes and property development regulations that are common in the southeast Florida market for review and consideration by the City of Lauderhill Development Review Committee staff.

- 5.0502. No minimum distance between structures shall be required within a Planned Unit Development District.

**Response:** The applicant design team is proposing property development regulations / setbacks that are common in the southeast Florida market for review and consideration by the City of Lauderhill Development Review Committee staff. Please refer to this document, as well as the master site plan, which provides details on the proposed setbacks and property development regulations.

- 5.0503. Each dwelling unit or other permitted use shall have access to a public street either directly, or indirectly via a private approach road, pedestrian way, court or other area dedicated by common easement guaranteeing access. Permitted uses are not necessarily required to front on a dedicated road. The City shall be allowed access on privately owned roadways, easements and common open space to insure the police and fire protection of the area, to meet emergency needs, to conduct City services, and to generally insure the health and safety of the residents of the Planned Unit Development.

**Response:** The master site plan indicates the locations of the internal private roadway tracts, that will be the maintenance obligation of the future homeowner's association (HOA). These roadways will connect to the surrounding public roadways, from a vehicular perspective as well as a pedestrian connectivity perspective. Please refer to the master site plan for additional details and exhibits.

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- 5.0504. There are no required setbacks or yards except the following:

There shall be a setback or yard of not less than twenty-five (25) feet in depth abutting all public road rights-of-way within or abutting a Planned Unit Development District.

There shall be a peripheral setback from boundary lines of the P.U.D. of not less than twenty-five (25) feet in depth. Except for accessways, no portion of this peripheral setback may be used for parking or other vehicular use area.

**Response:** A P.U.D. 25' perimeter setback line is indicated on the P.U.D. Master Site Plan. All internal roadways are proposed to be private and maintained by the homeowners' association (HOA). An exhibit is included within the master site plan set, which graphically shows internal private roadways' and their points of connection to surrounding public roads. No roadways or vehicular use areas is proposed for the 25' perimeter P.U.D. setback. In fact, these areas, in certain locations, will serve as landscape buffer transition areas along the perimeter. P.U.D. is drafted in order to allow for residential homes to incorporate non - roofed structures including but not limited to fences, pools, patios and screen enclosures within the City required P.U.D. setback.

- 5.06. *Off-street parking and loading requirements.* Off-street parking and loading requirements shall not deviate from the requirements of the Land Development Regulations.

**Response:** The proposed P.U.D. will exceed the City code off street parking and loading requirements. This requirement will be exceeded through a combination of garage spaces, multiple driveway areas and guest parking areas distributed internally throughout the residential neighborhoods / pods.

- 5.07. *Landscaping requirements.* The landscaping requirements shall not deviate from existing requirements.

**Response:** The proposed P.U.D. will adhere to the City code requirements for landscaping indicated within Section J, as well as the requirements of Schedule D for P.U.D.'s.

- 5.08. *Underground utilities.* Within the Planned Unit Development, all utilities including telephone, television, television cable, and electrical systems shall be installed underground. Primary facilities providing service to the site may be exempted from this requirement. Large transformers shall be placed on the ground and contained within pad mounts, enclosures or vaults. The developer shall provide adequate landscaping with shrubs and plants to screen all utility facilities permitted above ground.

**Response:** Residential community will install new utilities under ground. Utility easements will be indicated on the site plan, for each Pod / Phase indicating locations of buried / underground utilities.

- 5.09. *Open space requirement and computation.* A Planned Unit Development shall exhibit and maintain a total open space requirement at least equal to thirty-five percent (35%) of the gross area of the P.U.D. The following areas qualify wholly or partially as open space:

**Response:** The required P.U.D. open space minimum requirement of 35% will be met and exceeded. Please reference the tabular open space information included within the master site plan set.

- 5.0901. If the major recreation use is concentrated in a localized section of the P.U.D. with less than thirty percent (30%) of the residential dwelling units abutting it, only fifty percent (50%) of the area adjacent to the facility may count toward the open space requirement.

**Response:** The proposed P.U.D. will adhere to the open space requirements as indicated within Schedule D of the City code. An open space tabular data chart is included within the master site plan set, indicating how this requirement is addressed.

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In addition, the intent for one centralized recreational facility is to have a centralized location for socializing and community pride. It is the applicant's intent to design a centralized facility so that residents from residential neighborhood Pod 1 can meet and mingle with residents from residential Pod 6, as an example. The clubhouse will be programmed to have a fitness facility and meeting rooms for socializing. The pool will be sized for the overall community. Residents from other private residential pods / neighborhoods will be able to access the centralized recreation area, located in residential pod / neighborhood #3. No proposed residential home will be greater than one (1) mile from the primary residential area.

- 5.0902. If, however, the major recreation use is dispersed throughout the P.U.D. with between thirty (30) and sixty (60) percent of the residential dwelling units abutting it, seventy-five percent (75%) of the area contained therein may count toward the open space requirement.

**Response:** The proposed P.U.D. will adhere to the open space requirements as indicated within Schedule D of the City code. An open space tabular data chart is included within the master site plan set, indicating how this requirement is addressed.

- 5.0903. If more than sixty percent (60%) of the residential dwelling units abut the major recreation use, one hundred percent (100%) of the area contained therein may count toward the open space requirement.

**Response:** The proposed P.U.D. will adhere to the open space requirements as indicated within Schedule D of the City code. An open space tabular data chart is included within the master site plan set, indicating how this requirement is addressed.

- 5.0904. The area occupied by a multiple-use recreation building and its attendant outdoor recreation facilities, excluding a golf course, may be included as open space.

**Response:** The proposed P.U.D. will adhere to the open space requirements as indicated within Schedule D of the City code. An open space tabular data chart is included within the master site plan set, indicating how this requirement is addressed. The calculation for open space does not include any land area that will be allocated for the re-designed golf course area.

- 5.0905. Any privately maintained or owned exterior open space adjacent to and for the exclusive use by the residents of an individual dwelling unit, enclosed or partially enclosed by fences, walls, or hedges, may be considered toward meeting the total open space requirement, provided, the total area contained therein does not exceed five percent (5%) of the gross area of the P.U.D., nor decreases the amount of ground level common open space below thirty percent (30%) of the gross area of the P.U.D.

**Response:** The proposed P.U.D. will adhere to the open space requirements as indicated within Schedule D of the City code. An open space tabular data chart is included within the master site plan set, indicating how this requirement is addressed. Enclosed residential yard areas will be included within the open space calculation in accordance to the indicated Code cap.

- 5.0906. All previous land areas within the peripheral setback may be included.

**Response:** The P.U.D. setback land area, which will be a landscape buffer in certain locations, has been accounted for in the open space tabular within the master site plan set.

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- 5.0907. The area contained in public and private streets right-of-way is not considered as open space and receives no credit toward the open space requirement.

**Response:** None of the grass swale areas proposed within the private road tracts will be counted towards the open space calculation. Please refer to the open space tabular on the master site plan set.

- 5.0908. All privately-owned common open space shall conform to its intended use and remain as delineated in the master development plan through the inclusion in all deeds of appropriate covenants. Said deed restrictions shall run with the land and be for the benefit of present as well as future property owners.

**Response:** All common areas, perimeter landscape buffer areas, recreational amenity park areas will be dedicated to the future homeowner's association (HOA). A declaration of restrictive covenants, within the homeowner's association documents will be executed and recorded that will indicate maintenance of the open areas by the HOA. These documents will be prepared as part of the plat application process.

- 5.0909. All common open space as well as public and recreation facilities shall be specifically included in the development plan schedule and be constructed and fully improved by the developer at an equivalent or greater rate than the construction of residential structures. At least once every sixty (60) days, the building official shall inspect the P.U.D. site and examine the construction which has taken place on the site. If the rate of construction of dwelling units is greater than the rate which common open space and recreational facilities have been constructed and provided, no further building permits shall be issued until the proper ratio has been provided.

**Response:** Each residential neighborhood will have their relevant park and open space constructed within each neighborhood / phase. Please refer to the proposed P.U.D. master site plan set, which will indicate the details and locations of the park areas for each residential neighborhood / pod. No proposed residential home will be greater than one (1) mile from the primary residential area.

- 5.0910. Fifty percent (50%) of the area contained in manmade water bodies and canals with average water width of more than sixty (60) feet may be considered toward meeting the open space requirements. Man-made water bodies with average water width of less than sixty (60) feet shall not be considered toward meeting the open space requirements.

**Response:** The proposed P.U.D. will adhere to the open space requirements as indicated within Schedule D of the City code. An open space tabular data chart is included within the master site plan set, indicating how this requirement is addressed. No more than 50% of the lake areas there are 60' and greater will be counted towards the open space calculation.

- 5.0911. If the water body is natural and the shoreline vegetation will not be disturbed by the development, one hundred percent (100%) of the area contained therein may be counted as open space.

**Response:** The proposed P.U.D. will adhere to the open space requirements as indicated within Schedule D of the City code. An open space tabular data chart is included within the master site plan set, indicating how this requirement is addressed. Any existing water bodies that can be incorporated into the design will be included. The applicant will upgrade and refine any existing shoreline areas, as the maintenance of the vacant land areas is below standard.

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- 5.0912. If natural habitats of unique and significant value are determined to exist, the Planning and Zoning Board may require the area so defined be left in an undisturbed state and adequately protected or incorporated into the design of the P.U.D. as a passive recreation area with a minimum of improvements permitted. In either case, one hundred percent (100%) of the area contained therein may be counted as open space.

**Response:** Due to the fact that the subject property is a closed golf course, the property is classified as disturbed and no unique and significant nature habitats exist. Please refer to the Environmental Assessment report submitted with the proposed P.U.D. application package.

- 5.0913. The area contained in a continuous open space pedestrian system, consisting of permanently maintained walks and trails not more than twelve (12) feet wide leading to a natural amenity, recreation facility, or commercial use, offering internal pedestrian walkways that are divorced from roads and streets, may be included as open space.

**Response:** The proposed P.U.D. will comply with this requirement. There are various locations within the proposed P.U.D., which provide for continuous open space pedestrian systems that are separate from but connect to proposed sidewalks within private road tracts. See P.U.D. master site plan set for details.

- 5.0914. The area contained in mini-parks, which may or may not be a part of the open space system, but contain at least one (1) acre and have a minimum dimension of one hundred (100) feet together with, but not limited to, one of the following: benches, playground apparatus, barbecue pits, may be included as open space.

**Response:** The proposed P.U.D. will comply with this requirement. The passive park areas, within each residential neighborhood / pod, will be programmed with passive amenities such as shade areas with a bench(es). The detailed site plans will indicate the park programming in detail.

- 5.10. *Limitations applying to commercial uses.* No business shall be permitted in a Planned Unit Development until Certificates of Occupancy for no less than twenty-five percent (25%) of the total planned residential floor area or 100 residential dwelling units have been issued by the City.

**Response:** No non-residential / commercial uses are noted proposed within the Inverrary Residential P.U.D.; only residential and its supporting uses, such as recreational amenities etc.

- 5.11. *Professional services required.* Any plans submitted as part of a petition for a Planned Unit Development shall certify that the services of two (2) or more of the following professionals were utilized in the design or planning process; and shall state their names and businesses and addresses:

**Response:** The applicant design team is listed on page 2 of the Project Narrative / P.U.D. Document.

- 5.1101. A planner who by reason of his education and experience is qualified to become, or is, a full member of the American Planning Association.

**Response:** The applicant design team includes two members that through education and experience is qualified to process this application as Planners. Design and Entitlement Consultants, LLC is a member of American Society of Landscape Architects (ASLA) and American Planning Association (APA) as well as the Florida Chapter. Miskel Backman, LLP also has professional Planners on staff.

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- 5.1102. A landscape architect registered by the State of Florida, and/or

**Response:** Design And Entitlement Consultants, LLC. utilizes Guidon, LLC. as it's Florida registered Landscape Architect for all of its landscape architecture design plans. Please reference the landscape plans for registration and seal information.

- 5.1103. An architect licensed by the State of Florida, together with

**Response:** Pulte Home Company, LLC. Utilizes in house architects, along with structural Engineers for their home designs. The architectural plans will indicate registration and seal information.

- 5.1104. A professional engineer registered by the State of Florida, and trained in the field of Civil Engineering, and/or

**Response:** The applicant design team is listed on page 2 of the Project Narrative / P.U.D. Document. Schnars Engineering, Corporation is the Civil Engineer for the project.

- 5.1105. A land surveyor registered by the State of Florida.

**Response:** The applicant design team is listed on page 2 of the Project Narrative / P.U.D. Document. Caulfield And Wheeler is the Surveyor for the project.

## D. Schedule D, Section 6 Rezoning Of Land To P.U.D. Regulations

### Section 6 Rezoning of land to P.U.D.

On application for rezoning of land to P.U.D. classification, the Planning and Zoning Board and City Commission shall proceed in general as for other applications for rezoning of land giving special consideration, however, to the following matters and requirements, and allowing changes in the rezoning application prior to the required Planning and Zoning Board public hearing, as follows:

- 6.01. Procedures.
- 6.0101. *Pre-hearing conference.* On request by the applicant, the Planning and Zoning Board, Director of Community Development, and representatives of other City departments shall meet with the applicant and/or his agent to review a general concept plan, which shall include a boundary map of the proposed P.U.D., the proposed pattern of land use, the proposed number and type of dwelling units and densities, proposed streets and circulation, and proposed open spaces, an outline of the petition for rezoning; and other plans, maps and documents deemed necessary for a pre-hearing conference. The purpose of such a pre-hearing conference or conferences shall be to determine that the proposed development is not premature.

Prior to the formal submission of a petition for rezoning, the general concept plan shall be approved by the Planning and Zoning Board as to land use, density, streets and circulation, and open space, and shall thereafter be the basis for the petition for rezoning.

In the course of such pre-hearing conferences, any recommendations for changes shall be recorded in writing and shall become part of the record in the case. Pre-hearing conferences shall be continued until a general concept plan and petition is approved by the Planning and Zoning Board; however, approval of a general concept plan shall in no manner imply that the applicant has satisfied the conditions and requirements for rezoning.

**Response:** The applicant design team had a pre-application conference / meeting on April 15, 2025, in which the rezoning application was reviewed and discussed.

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- 6.0102. *Public hearing.* At such times as further conferences appear unnecessary, the applicant may present his formal petition and supporting data for rezoning, as set forth herein.
- A public hearing date shall be established at the next regularly scheduled Planning and Zoning Board meeting. Thereafter, public notice shall be given and a public hearing before the Planning and Zoning Board on the petition for rezoning shall be held in the same manner as for other applications for rezoning, in accordance with the zoning regulations and requirements of these regulations.

**Response:** Acknowledged.

### Section 6.0103 Planning And Zoning Board Findings And Recommendations

Planning and Zoning Board findings and recommendations. After the closing of the public hearing, the Planning and Zoning Board may recommend to the City Commission that the P.U.D. rezoning be approved, subject to stated stipulations and conditions, or disapproved. In making its recommendation, the Planning and Zoning Board

A. The requirements of unified control;

**Response:** A draft unified control document providing for single ownership of the subject property affected area of the P.U.D application is included within the application package. Pulte Home Company, LLC. Is the contract purchaser submitting the development applications on behalf of the current property owner. Common areas, drainage areas and other private use areas will eventually be transferred to a homeowner's association. This document will be recorded at a later date.

B. The internal P.U.D. standards;

**Response:** This P.U.D. Justification Statement includes the proposed property development regulations, community vision and other general regulations that serve as the development guide and development code for the subject property affected P.U.D. area. The Project Narrative / P.U.D. document, along with the plan set of the master site plan and details, will provide the property development regulations of the Inverrary Residential P.U.D.

C. The tract for the proposed P.U.D. is suitable in terms of its relationships to the Comprehensive Plan and the area surrounding the proposed development can continue to be developed in coordination and substantial compatibility with the P.U.D. proposed, including overall dwelling unit or building density and peripheral transitions in such density;

**Response:** The proposed residential P.U.D development is suitable with the surrounding compatible existing residential Inverrary communities. The predominant surrounding character of the areas, around the proposed P.U.D., is residential with smaller areas of supporting nonresidential uses. The proposed P.U.D. is consistent with the comprehensive plan as further outlined in this document. The companion proposed Land Use Plan Amendment (LUPA) application proposes to amend certain land areas, within the overall Inverrary Irregular (9) Dashed Line area, to residential use. A portion of the density remaining within the dashed line is proposed to be allocated to these residential areas.

D. That the proposed modifications of zoning or other regulations as applied to the particular case, justify such modification of regulations.

**Response:** The P.U.D. rezoning is justified because the Inverrary Golf Course has been closed for many years and the redevelopment of same, to include a variety of housing types and various uses is best accomplished by creating a P.U.D. for the Property. The P.U.D. Zoning District provides the vehicle needed to design the new residential community utilizing design principles of compact design. The design principle of compact design affords the ability to allocate larger useable open space tract areas for the enjoyment and use of the new residents, as well as the existing surrounding Inverrary residents. The to be re-designed championship golf course is an excellent example and the resultant of compact P.U.D. design principles. The proposed

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regulations, within this P.U.D. document provides the parameters and thresholds of future amendments to this proposed P.U.D. as well.

**Section 6.0105. City Commission consideration.**

Upon receipt of the Planning and Zoning Board recommendation, the City Commission shall schedule a public hearing to consider the rezoning petition as recommended by the Board. After the requisite public notice, the City Commission shall act in accordance with the procedures for rezoning generally.

**Response:** Acknowledged.

**E. Schedule D, Section 6 Rezoning Of Land To P.U.D.**

**Section 6.02 Information required.**

In addition to information required for application for rezoning generally, the applicant shall submit the following materials or data in the form of a petition for rezoning:

1. Section 6.0201. Legal documents assuring unified control of the proposed P.U.D. and any agreements required by the Planning and Zoning Board.

**Response:** A draft unified control document providing for single ownership of the subject property affected area of the P.U.D application is included within the application package. Pulte Home Company, LLC. Is the contract purchaser submitting the development applications on behalf of the current property owner. This document will be recorded, within the public records of Broward County, prior to building permit.

2. Section 6.0202. Tabulations of total gross acreage in the P.U.D. and percentages thereof proposed to be devoted to the several dwelling types, other permitted uses, park and recreational facilities, open spaces, schools, streets and rights-of-way, and other reservations of land. Tabulations shall also show the proposed number and types of dwelling units and densities.

**Response:** A master site development plan is included within the P.U.D. rezoning application package. It includes site data tabulation, which indicates how each of the relevant City Code P.U.D. sections are to be met; open space as an example. In addition, the total amount of fee simple dwelling units is indicated within the site data, along with a break down of unit type by residential neighborhood / pod. The site data indicates the land area calculations in accordance to the City code requirements for P.U.D.'s.

3. Section 6.0203. A P.U.D. Rezoning Development Plan. At the time the petition for rezoning to P.U.D. is filed, the petitioner shall submit as part of said petition, in fifteen (15) identical copies, a P.U.D. development plan for the proposed P.U.D., including a written description and maps, reproduced and bound in a report format not to exceed eleven (11) inches by seventeen (17) inches in size, which shall include not less than the following materials:

- A. Title of the project and the name(s) of the professionals preparing the submission.

**Response:** A list of the professionals is provided after the Table of Contents of this document. In addition, the plan set cover sheet has a list of the professional team.

- B. Existing physical conditions of the site, including existing vegetation, topography, water courses, streets, rights-of-way easements, existing structures, soil conditions (series) and any other major natural features.

**Response:** A survey is included within the plan set, which identifies existing structures and any encumbrances on the subject property. An environmental assessment is also included, which provides summary of natural features.

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C. Identification of the developer; and description of the location and access of the P.U.D.

**Response:** Pulte Home Company, LLC is listed within the list after the Table of Contents. Property owner, Victorville West Limited, Partnership, is also listed as well as the deed included within the submittal package.

D. Generalized land use plan and development program (phasing) in terms of uses, densities, and population projections.

**Response:** A phasing plan is also included within the master plan set, submitted with this application. Utilizing a basis of two (2) persons per household, the population projection for 888 homes is 1,776 persons.

E. Residential plan and program in terms of density and housing types, and projected population.

**Response:** The P.U.D. rezoning application includes a master site plan, which indicates the fee simple residential units distributed in each residential neighborhood / Pod. The master site plan site data also indicates the distribution between single family attached and detached. Finally, a detail sheet is included within the master site plan set. This document also includes the property development regulation details for each home type and the proposed setbacks. Utilizing a basis of 2.76 persons per household, the population projection for 888 homes is 2,451 persons. Although, [census.gov](https://www.census.gov) is updating the population projections in 2025 to be 2.5 person per household, which is indicative of a current trend of declining household size.

F. Proposed usage of commercial and service areas.

**Response:** No commercial or service use areas are proposed with this application. Residential use and its ancillary supporting uses, such as recreational amenities, are proposed. The balance of the overall property will remain in Commercial Recreation Land Use so that it can be redeveloped / redesigned into a new championship golf course. That property is not included with this application.

G. The plan for circulation, streets and parking, and the proposed parking ratio.

**Response:** The P.U.D. rezoning application includes a plan set, which includes a master site plan. This master site plan indicates locations of the residential pad areas, roadway tracts, drainage areas and open space common areas. An exhibit is included within the revised plan package which provides additional details regarding the internal private streets and connections to surrounding public streets. The final site plans will include details on the driveway configurations and parking tabulations, per residential pod / neighborhood.

H. The plan and program for open space, linear parks, parks, pedestrian and equestrian ways, and community and recreation facilities, etc.

**Response:** The P.U.D. rezoning application includes a plan set, which includes a master site plan. This master site plan indicates locations of the residential pad areas, roadway tracts, drainage areas and open space common areas. The common open areas include the community park areas and primary recreation area, to be utilized by the new residents for recreational purposes. The master site plan includes site data, land area tabular data and other information that addresses the City P.U.D. code requirements. The master site plan also provides information regarding land areas: residential, open space, landscape buffer areas and recreational areas along with site area tabulations. A blue dashed line also indicates the locations of internal pedestrian areas and their connections to the surrounding public pedestrian access areas.

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I. Provisions for municipal and public services.

**Response:** No government service site is provided. Applicant is prepared to negotiate a contribution to the City to aid in the City acquisition of land to construct a fire station on a suitable parcel of land.

J. Provisions for water, sewer, and other utility services.

**Response:** The P.U.D. master site plan set includes a preliminary utility master plan, which shows the existing points of connection to the existing surrounding utilities for each residential neighborhood / pod. This plan indicates proposed preliminary locations of internal water and sewer infrastructure, as well as their connections to surrounding existing utilities. Additional details, such as utility easements will be indicated within the detailed site plan applications for each residential pod / phase.

K. Provisions for schools and educational facilities, and projections of school-age children.

**Response:** A copy of the Broward County School District SCAD is included within the P.U.D. rezoning application.

L. The plan for grading, excavation, drainage and waterways, and necessary calculations.

**Response:** The P.U.D. master site plan application package includes preliminary drainage calculations from the project engineer. In addition, the master site plan indicates the locations of the drainage areas for the proposed residential community. This plan indicates a Site Grading and Drainage Information table, which provides preliminary proposed finish floor elevations of the residential homes, as well as crown of road elevation information.

M. The relationship and conformity to the City's Comprehensive Plan and applicable county plans.

**Response:** The applicant is proposing a Land Use Plan Amendment only for the residential portions of the Inverrary property, which will be consistent with the existing Inverrary Irregular (9) Residential area. The Inverrary Irregular (9) Residential area includes a total of +/- 1,008 gross acres, allowing a total of 9,072 residential dwelling units. There are 7,930 residential dwelling units allocated within the dashed line area, leaving 1,142 units available to be allocated. The applicant is applying for a LUPA for certain sections of the old golf course property to allow for eight hundred, eighty eight (888) fee simple dwelling units, per LUPA Application 25-LU-002. No increase of density is proposed; rather just an allocation of the existing remaining density to the proposed residential land areas. See City Land Use Plan Section of this document.

N. The projected net fiscal impact on the tax base of the City.

**Response:** Applicant will coordinate with the City regarding the net fiscal impact projection for the project.

O. The estimated impact of the P.U.D. on increased vehicular traffic on existing and proposed moor streets and roadways.

**Response:** The traffic study is included with this resubmittal.

P. A plan showing all land and acreage to be offered for dedication to the City, county, and/or state, and a written statement offering such lands for dedication.

**Response:** No government service site is provided. Applicant is prepared to negotiate a contribution to the City to aid in the City acquisition of land to construct a forest station on a suitable parcel of land.

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Q. Existing zoning within one (1) mile of the site.

**Response:** The master site plan indicates the surrounding Zoning and Land Use designations for surrounding parcels around the subject parcel. IN addition, this document provides a table which summarizes this information for compatibility analysis purposes.

R. Description of proposed P.U.D. standards for all streets and right-of-ways, linear parks, canals and water courses, residential dwelling types, and landscaping and planning.

**Response:** The master site plan includes a detail sheet which indicates the different types of residential homes proposed and the proposed setbacks. This document includes a P.U.D. section, which indicates the regulations to develop the subject property into a new residential community; including all single family residential home types and the applicable setbacks. The detail sheet indicates the proposed vehicular access ways and provides details on the proposed road sections.

S. The amount of taxes generated by the use in the proposed development.

**Response:** Applicant will coordinate with the City regarding the net fiscal impact projection for the project.

T. All other requirements as directed by the Planning and Zoning Board.

**Response:** Acknowledged.

U. General location map, showing major streets, facilities and developments within a two mile and five (5) mile radius.

**Response:** The master site plan set includes a location map on the master site plan cover sheet, which show the location of the affected area within the City limits in relation to major surrounding public streets.

V. Boundary map, with legal description at a scale no less than 1 inch = 600 feet.

**Response:** An ALTA survey is included within the P.U.D. rezoning application package, which includes the legal description of the affected area.

W. General concept plan, as approved by the Planning and Zoning Board, showing the general pattern of land use, streets and circulation, and open spaces.

**Response:** The P.U.D. rezoning application includes a plan set, which includes a master site plan. This master site plan indicates locations of the residential pad areas, roadway tracts, drainage areas and open space common areas. This plan indicates This plan indicates the distribution of land areas, by use, as well as detailed locations of the roadways, proposed sidewalks, lake areas and park open space areas.

X. Master plan: Land use and access, showing land use by type, residential land use by density classification, common open space (and the portion thereof to be classified as permanent or public), streets and rights-of-way (public and private), canals and linear parks, pedestrian ways, and easements and the location and acreage of all land to be offered for public dedication to the City, county, and/or state.

**Response:** The P.U.D. rezoning application includes a plan set, which includes a master site plan. This master site plan indicates locations of the residential pad areas, roadway tracts, drainage areas and open space common areas. The common open areas include the community park areas and primary recreation area, to be utilized by the new residents for recreational purposes. Internal street will be private and to be owned and maintained by the to be formed

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homeowner's association. Applicant is prepared to negotiate a contribution to the City to aid in the City acquisition of land to construct a fire station on a suitable parcel of land. In addition, a Site Area tabulation table has been added to the Master Site Plan to breakdown the land areas by use. A combination landscape buffer and semi - private linear greenway park is proposed in certain locations to serve as a transition with surrounding existing Inverrary residential communities. This linear greenway park will be utilized by the new residents, as well as the surrounding existing Inverrary residents.

Y. Utilities plan, showing location and sizes of water and sewer mains and provisions for water supply and sewage treatment.

**Response:** The P.U.D. master site plan set includes a preliminary utility master plan, which shows the existing points of connection to the existing surrounding utilities for each residential neighborhood / pod.

Z. Streets map, showing all proposed streets, rights-of-way, cart way widths, sidewalks, typical landscaping, signs and lighting, and typical cross-sections and intersections, and the separation of vehicular traffic from pedestrian circulation

**Response:** The P.U.D. rezoning application includes a plan set, which includes a master site plan. This master site plan indicates locations of the residential pad areas, roadway tracts, drainage areas and open space common areas. The common open areas include the community park areas and primary recreation area, to be utilized by the new residents for recreational purposes. Internal street will be private and to be owned and maintained by the to be formed homeowner's association. The master plan set also includes a detail sheet, which shows the proposed private road way street cross sections. These cross sections indicate the locations of the sidewalks as well. An additional plan exhibit is included in the master site plan set to indicate private roadways and connections to the surrounding public roadways. Detail sheets 1 and 2 show the preliminary details to be indicated within the site plan applications per residential pod / neighborhood. Preliminary monument sign, community identification structures and privacy fencing are examples of what is indicated within the detail sheets.

AA. Grading and drainage plan, showing all existing and proposed grades, and existing and proposed water courses

**Response:** The P.U.D. master site plan application package includes preliminary drainage calculations from the project engineer. In addition, the master site plan indicates the locations of the drainage areas for the proposed residential community. This includes proposed road crown design minimum crown heights, as an example. Upon filing for the site plan application for the phase 1 portion of the residential community, preliminary engineering plans will be submitted for review by the City Engineering Department.

BB. Typical landscaping plan, showing typical landscaping for housing areas, streets, open space, canal areas, buffer strips, recreational, and other areas.

**Response:** Within the P.U.D. master site plan set, a detail sheet is included which indicates plan view sections of the proposed landscaping within each of the landscape buffers proposed onsite. In addition, general prototypical residential landscape plans are also indicated which provides for preliminary details of how each of the homes will be landscaped.

CC. Typical residential plan, showing typical site plan clusters, general floor plans of unit types and typical elevations, material, etc.

**Response:** Preliminary floor plans and elevations will be provided with the site plan applications for each residential pod / neighborhood; as required by the site plan application checklist.

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DD. Illustrative site plan, of the entire P.U.D. showing general layout of streets, buildings, parking areas, open space, parks and canals and other important features, for illustrative purposes only.

**Response:** The P.U.D. rezoning application includes a plan set, which includes a master site plan. This master site plan indicates locations of the residential pad areas, roadway tracts, drainage areas and open space common areas. A final color graphic will be provided at the conclusion of the review for inclusion within the presentation and prior to the public hearings.

EE. Staging plan, showing the proposed order of development by year.

**Response:** A staging plan is included, as a plan sheet, within the P.U.D. master site plan set indicating the proposed phasing for the new residential community.

4. Section 6.0204 A statement indicating that proposed modifications of zoning or other applicable City regulations are intended to serve the public interest to an equivalent degree, as would otherwise be required.

**Response:** This document serves as the P.U.D. Justification Statement to support the request and also addresses the required parts of the City code for rezoning to a P.U.D. In addition, this document also serves as the P.U.D. regulations for this proposed community. Information, such as community vision, property development regulations and other general regulations are provided. Additional details have been added to the public benefit section of the project narrative.

## **Section II: P.U.D. – Planned Unit Development Program**

### **A. Community Vision**

The proposed Inverrary Residential P.U.D. has been planned as a suburban community on a +/-129 acre area with an emphasis on walkability, convenience and housing variety. Walkability will be created by a network of sidewalks and paths, which will connect all of the various parts of the community together and minimize conflicts between pedestrians, bicyclists and automobiles. The proposed internal sidewalks will provide connections to the surrounding public walkways existing in the surrounding public rights of way. These connections will provide multi-modal connections to surrounding public walkways and Broward County transit stops. Convenience will come from the close proximity of homes to the centralized community recreational facility, as well as connections to the proposed new semi public Inverrary linear greenway park area. This proposed linear park will vary from thirty to forty feet, in width, in certain locations. An eight to twelve (in certain locations) foot fitness trail is included within this greenway for recreational purposes. The sidewalk connections will provide pedestrians the opportunity to access the primary recreation facility; thereby promoting walkability. These connections will result in less vehicular traffic on surrounding roadways. A wide range of housing choices will be offered in this community, with each having a different lot size and a wide variety of home designs to promote a living environment consistent with the emerging market demand in the City of Lauderhill. The wide range of housing types will provide greater variety for all prospective buyers looking to move to Lauderhill and purchase new fee simple construction. The single family attached townhomes will be attractive to entry level young professional buyers. The same buyer will be afforded opportunities to purchase a single family detached home, as their families grow; without leaving the community.

### **B. City of Lauderhill Public Benefit**

The Inverrary Residential P.U.D. is proposing a new residential community on existing vacant underutilized former golf course land area. This new residential community will provide new tax base, on currently vacant land from a wide range of housing options. Preliminary annual tax base revenue calculation back to the City of Lauderhill will be upwards of \$3 million annually to the City.

Existing residents of Lauderhill, as well as new families looking to relocate into the City will have the opportunity to purchase new residential construction from the 3rd largest home builder in the nation: Pulte Homes. Pulte Homes has been constructing homes in the United States, since 1950 and has delivered well over 750,000 homes. As one of the most reputable builders in the nation, Pulte stands behind their home construction and offers a 10 year limited structural warranty, as well as flexible floor plans to prospective buyers.

This new residential community will also support the new Greg Norman Signature Inverrary golf course that will be planned for the balance of the property. It has been years since the golf course has been open and active. The course is currently under design by the renowned team of Greg Norman Golf Course Design. In addition to the new 18 - hole golf course, a short game practice area will be incorporated into the final design, providing a revitalization of Inverrary's historical standing in the golf community. A brand new clubhouse is also programmed to support the Greg Norman Signature Inverrary golf course; providing additional amenities such as new EV charging stations at no costs to the residents.

The new Greg Norman Signature Inverrary golf course will provide active recreational opportunities, as well as a new golf course that the entirety of Inverrary can be proud of. Upon completion, the new golf course will be gifted to the overall Inverrary Master Association. It will also be managed by the master association. The commitment of the Developer to construct the golf course and clubhouse, and gift these to the Inverrary community, coupled with financial contributions to ensure the viability of the golf course until it reaches break-even status, demonstrates a long-term investment in the community's sustainability and security. No private memberships will be offered and in fact additional overall public benefit will be provided to the citizens of the City of Lauderhill, as the course will be open to the general public. The new Inverrary golf course will provide additional active City recreational opportunities on a vacant underutilized tract of land.

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Also in order to aid the City in addressing an emergency service need in the vicinity, the applicant is proposing to negotiate a contribution towards the City to fund the City acquisition of a fire station site. The details of this contribution will be drafted within the developer agreement as part of the approvals for the redevelopment project. This contribution, in conjunction with long term safety improvements, negotiated as part of the outreach efforts, will result in a safer and more sustainable community within the City of Lauderhill. The implementation of state-of-the-art security systems, integrated with the City's security system, significantly enhances community safety and preparedness.

Finally, from a public outreach perspective the team has been meeting with and coordinating with the surrounding existing communities in order to have a new project that existing residents are invested and have input on some of the design elements. Outreach meetings have been ongoing since May 2023. New parks that will be accessible by the surrounding Inverrary community will be provided for active and passive recreational opportunities. The interior existing Inverrary residential homes will be buffered by a thirty (30) to forty (40) foot multipurpose landscape buffer that will also serve as a linear greenway park area. This buffer / linear greenway park area will be programmed with a minimum eight (8) - foot to twelve (12) - foot fitness trail for active recreational use by the surrounding existing Inverrary residents. Also as a result of the outreach efforts, a new approximate three (3) - acre park, in future phase Pod 6, will also provide passive recreational opportunities for surrounding Inverrary residents. CEPTED security measures such as fencing and landscaping will provide separation between the proposed buffer / linear greenway park, Pod 6 Inverrary park area and the new residential neighborhoods.

The revitalization of Inverrary with a new golf course signifies a monumental market signal, heralding the resurgence of the City of Lauderhill and the Inverrary community; once renowned for its association with movie stars and its history of hosting professional golf tournaments. This re-development and new residential community promises to appreciably revitalize the neighborhood, increase home values, and mark a significant stride in our neighborhood's revival.

See Section D.B.1 earlier in this document for justification for the implementation of the City Planned Unit Development code to redevelop the subject property and its benefit to the City.

**C. Pedestrians**

All internal residential neighborhood block areas will be connected by a comprehensive sidewalk path system. The main entry boulevards will have sidewalk connection(s) to connect to surrounding public walkways. All internal private local streets will have a 5' wide sidewalk to provide connectivity, within the residential community. The walkways will also provide safe and secured to the proposed new semi - public linear greenway park proposed, internal to the community. Bike racks will be located at the primary recreation facility, further promoting multi-modal transportation and less vehicular traffic. Linkages are provided to the external public walkways in order to have direct access to surrounding Broward County Transit stops. Transit stops are located one - quarter (1/4) miles outside of the community and will provide more multimodal transportation opportunities to the new community. Broward County Route 72 and 81 are located within this radius area. Lauderhill Community Shuttle Routes 2, 3 and 4 are also located in close proximity to the P.U.D. affected area.

**D. Proposed Development Use**

The proposed Inverrary Residential Community consists of a variety of housing types tailored to meet the needs of the home buying public, including conventional single family detached home sites, as well as single family attached townhomes. A maximum of 888 home sites are proposed for the community, at an overall net density of 6.87 dwelling units per acre. This new housing will address and meet the projected population increase to the area and will provide new home construction for prospective buyers. Areas within the community have been reserved for temporary uses such as sales offices and/or model units as deemed necessary by the home builder. In addition, private recreational facilities will be provided for prospective residents, so that they will have recreational opportunities internal to the development and reduce external vehicular trips. Both active and passive recreational opportunities are programmed within the community. A detailed summary is provided later within this document.

**E. Site Information**

1. P.U.D. Master Site Development Plan:

TOTAL NET SITE AREA	129.23 Ac
Open Space	50.46 Ac. (39%)
Primary Recreation Area (2.31 Ac. - 50% Land Area)	1.16 Ac.
Neighborhood Parks And Open Space Areas	1.21 Ac.
F.P.L. Linear Park Open Space Areas (Includes Dry Detention Areas)	6.75 Ac.
Inverrary Semi - Public Areas (Includes Linear Greenway Buffer / Park Area)	9.78 Ac.
Water Management Tracts (50% Water Bodies, Average Width 60' = 15.49 Ac.)	7.75 Ac.
Water Management Tracts - Dry Detention Area Tracts	8.85 Ac.
Existing Water Management Tracts (Pod 1, 2 & 6)	5.16 Ac.
Perimeter Landscape Buffers (Pervious Areas Within Peripheral Setback)	3.34 Ac.
Private Maintained Exterior Open Space Areas Used By Residents (Enclosed = 17.34 Ac. - 5% Gross Residential Acreage Cap)	6.46 Ac.

**E. Maximum Density/Intensity**

<u>Use</u>	<u>Proposed</u>
Residential	888 Homes 6.87 du/ac

**F. Drainage Statement**

See Exhibit 4

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## Section III: Design Guidelines and Land Development Regulations

### A. Purpose and Intent

The design guidelines set forth in this section are the standards, to be utilized for the planning and design of the entire Inverrary Planned Unit Development. Where conflicts exist between the requirements of the City's Land Development Regulations, other applicable City codes, and the standards of the Inverrary P.U.D. design guidelines, these P.U.D. standards shall govern. Should certain regulations not be covered within this P.U.D. document, City of Lauderhill code shall govern.

### B. Implementation

1. All land included in the Inverrary Residential P.U.D. shall be subject to a document recorded in the public records of Broward County, which shall provide, among other things, formation of a property owners association by any party holding title to any portion of the property. This association will be created to manage the common areas, private roadways and amenities, within the community. Private roadways will have public access easements to provide the City access for emergency purposes and to access City owned utilities for maintenance purposes via separate instrument recorded in the public records.
2. The developer reserves the right under this development order to modify any of the design criteria established, and to modify housing types within the established density cap of 6.83 d.u. /ac. With approval by the DRC for minor changes and with approval by the City Commission for major changes.
3. Major changes: Major changes require City Commission approval. A Master Site Plan change is considered Major if it includes any of the following:
  - A substantial increase in exterior traffic impacts.
  - A change to location of driveway external connections.
  - A deviation greater than 10% of any design standard contained within this P.U.D.
  - Recreational Parcel revisions / amendments, including clubhouse redesign that will reduce the clubhouse footprint by more than 10%.
  - Total unit count increase.
4. Minor changes: Any Master Site Plan change other than the specific changes which are defined under Major Changes will be considered minor changes and may be approved by the DRC. These changes may include but are not limited to the below:
  - Community entry monument design revisions.
  - Lot line relocations or change of housing type consistent with a type included in the masterplan.
  - Phase line modifications.
5. Site Plan Review Process (Future Phases): In an effort to allow the Developer to provide residential projects consistent with the market demand, The Development Services Department of the City shall be permitted to review and approve future phases of the development in accordance with the thresholds established below. Development Services may not authorize a change that is inconsistent with the proposed master site plan. In accordance with the requirements and thresholds below, the Planning and Zoning Director, through the Development Review Committee, may administratively approval future phase site plans of the Project as follows:
  - Overall maximum density is not exceeded. Tabular data to be submitted with each phase site plan for tracking purposes.

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- Setback deviations or reduction of primary centralized recreation amenity area no more than 10% or which allow for the development of a project generally consistent with the master site plan for the Property.
  - The following changes, in future phases, will require approval by the DRC, PZB and City Commission:
    - Introduction of new residential home styles that are not architecturally compatible with the approved residential architectural plans.
    - Introduction of three story residential home product.
  - Reduction of open space by 10% maximum, contingent that such open space reduction does not exceed below the minimum Code P.U.D. requirement of 30%.
6. Plat Process: Applicant will process a Boundary plat through the City and County along with an early construction Tri-Party Agreement (Agreement For the Issuance of Building Permits Prior to Plat Recordation.) Lot subdivision will be completed through the lot split process with Broward County Property Appraiser. Within 60 days of the final pod lot split, the applicant will record a map of all residential pods showing the final disposition of easements, lots, tracts and other items commonly shown on plats. The final recorded map will be submitted to the City for their records.
7. Earthwork & clearing: After site plan approval and following issuance of the required Tree Removal License the Developer will have the ability to clear, grub and grade the property. Such permits will be issued prior to the release of any other City permits, i.e. utility permits.
- Excess fill removed in accordance with required site permits is not considered mining.
  - Mass earthwork consists of clearing, soil remediation work, excavation, fill, rough grading and temporary stabilization.
  - Mass earthwork will include temporary seeding and stabilization after completion.

### C. Principal Uses & Structures

#### 1. Residential

a. Single-family Residential Product Types are as follows: (See Exhibits 5 – 10)

- 1) Single family detached home nominal lot width of 40' wide or less: Nominal lot width refers to lot width category and not actual dimension. Lot width measured at the front or rear setback line perpendicular to the driveway, whichever is less. A single or two-car garage is provided, plus a front setback which provides two additional off street parking spaces in a driveway.
- 2) Single family detached home nominal lot width of 40' wide or greater: Nominal lot width refers to lot width category and not actual dimension. Lot width measured at the front or rear setback line perpendicular to the driveway, whichever is less. A single or two-car garage is provided, plus a front setback which provides two additional off street parking spaces in a driveway.
- 3) Estate single family detached home nominal lot width of 65' wide or greater: Nominal lot width refers to lot width category and not actual dimension. Lot width measured at the front or rear setback line perpendicular to the driveway, whichever is less. A single or two-car garage is provided, plus a front setback which provides two additional off street parking spaces in a driveway.
- 4) Single family detached home lots on cul de sac / T - turnaround flag lots: Minimum lot frontage dimension of 20' at street lot line. Minimum lot width measured at front building/setback line. For example, if a single family detached home lot is a forty (40) foot lot, then the minimum lot width of forty (40) feet will be met at the front setback line.

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- 5) Single family attached home / townhome: A single car or two-car garage is provided based upon location within the building configuration, plus a front setback which provides an additional off-street parking spaces in a driveway.
  - c. Model homes: Model Homes are allowed within the community as part of the home sale efforts, and include a mix of lot sizes, sales and design centers, parking, and office. A temporary road and parking lot to serve and access the models will be provided. Upon completion of sales efforts the temporary parking lot and access will be removed and a home will be constructed in its place for sale to prospective home buyers. Model homes will also be converted to sell for occupancy. Sales operations will either occur out of a model sales office or a temporary sales trailer. Model homes may be served by temporary portable ADA restrooms. Model homes considered residential use and do not require fire sprinkler protection or alarms. A Tri-Party Agreement with the City of Lauderdale and Broward County, which will allow for building permit issuance for models prior to plat recordation may be necessary. City permit release will adhere to Florida Statute Chapter 177.073 Expedited approval of residential building permits before a final plat is recorded. Temporary construction trailers with generators will also be located within the community, as part of construction efforts. No additional site plan review is required for model homes, sales and design centers or construction trailers.
2. Recreation
    - a. Common recreation areas, including a primary recreation parcel which will include a private cabana / clubhouse for use of the community, will be proposed internal to the community. This parcel will provide active and passive recreational opportunities for residents. This centralized primary recreation area will serve as an overall community gathering area for the new residents to socialize and gather. This community recreation area will be a sense of pride for the community, as a central point of recreation and social gathering. The private clubhouse will be programmed with amenities such as fitness area, meeting rooms as well as a pool for a central point of gathering for the community.
    - b. Parking for the primary recreation amenity will be provided at 1 space per 300 building square feet.
    - c. Passive and active recreational opportunities will be provided for the private residents. A semi - public landscape transition buffer and linear greenway park is proposed internal to the new community, adjacent to the existing Inverrary condominium residents. This linear greenway park is semi public as the surrounding existing Inverrary residents will have access to the fitness trail. However this buffer will be fenced with gates in key locations in order to still provide for a private residential community for the new Inverrary residential P.U.D. See final site plans for details on locations of the fencing providing the required security and separation. An eight (8) to twelve (12) - foot (certain locations) fitness trail is proposed within this linear greenway park to provide active recreational opportunities, such as walking or jogging.
    - d. Each of the residential neighborhoods (Pods) will have at a minimum one (1) tot lot play structure. The tot lot play structure will include shade sails for shading of users of the play structures, as well as a bench.
    - e. All open space areas indicated will be the perpetual maintenance obligation of the to – be - formed homeowners association (H.O.A) and or Community Development District (C.D.D.). This H.O.A. and or C.D.D. will also maintain the linear greenway park central to the community.
  3. General Site Structures
    - a. Water management facilities and related structures.
    - b. Lakes, including lakes with bulkheads, or other architectural or structural bank treatments.
    - c. Gatehouses, and vehicular and pedestrian access control structures.
    - d. Neighborhood parks, recreational facilities and community centers.
    - e. Temporary construction, sales, and administrative offices for the Developer and the Developer's authorized contractors and consultants, including necessary access ways, parking areas and related uses.

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- f. Landscape features such as landscape buffers, berms, and fences,
- g. Benches, trash cans, and open space uses.

**D. Accessory Uses / Structures**

- 1. Accessory structures shall be limited to pergola, arbor, trellis, tiki hut, gazebo, and sheds no taller than 12 feet only if inside a fenced rear yard and not visible from a street or lake. See Setbacks Section for setback information. Recreational vehicle storage is not permitted on any portion of the development including individual lots and recreational grounds.

**E. Maximum Residential Density / Minimum Lot Requirements**

- 1. Single Family Attached & Detached Homes:
  - a. The overall density will not exceed 888 units (6.87 D.U. /AC.).
  - b. Design criteria has been established for each of the following proposed residential housing types, to establish minimum setbacks, building separations, home site size and configuration to be utilized in the design and site planning of the residential tracts within the community: The design criteria for each type is detailed on the exhibits contained herein (Exhibits 5 - 10).

**F. Building Height / Mass / Separation:**

- 1. Residential
  - a. Single family detached home residential structures shall be limited to one or two stories. Single family detached homes will have a maximum height of thirty - five (35) feet.
  - b. Single family attached residential structures (townhomes, duplexes, etc.) are limited to one or two stories. Single family attached residential homes will have a maximum height of thirty - five (35) feet. Single family attached residential structures shall be limited to not more than eight (8) contiguous dwellings. Single Family attached residential homes will be configured from two (2) to eight (8) unit building configurations (excluding the model which is a two (2) unit single family attached residential townhome. See Property Development Regulation Exhibits.
- 2. Building height is defined as the vertical distance from the average finished grade of the adjacent ground to the top of the structure, at the highest roof beams of a flat roof, the deck of a mansard roof or the mean level of the highest gable or slope of a hip roof. Maximum building height for all buildings within the P.U.D. will be two - stories.

**G. Lot Area Coverage**

- 1. Maximum Lot Area Coverage for Residential Lots is defined as the percentage of the lot area devoted to all impervious surfaces including, but not limited to, buildings and structures, such as slabs, parking areas, driveways, access ways, sidewalks, decks, pools, walls, ground signage and ground lighting.
  - a. Single Family Detached Home: The maximum lot coverage area for a single-family detached home lot is 70%.
  - b. Estate Single Family Detached Home: The maximum lot coverage area for an estate single-family detached home lot is 70%.
  - c. Single Family Attached Homes: Single family attached homes are exempt from the maximum lot coverage requirements.

## H. Maximum Building Coverage Area

1. Maximum Building Coverage for Residential Lots is defined as the percentage of the lot area devoted to the footprint of all buildings.
  - a. Single Family Detached Home: The maximum building coverage area for a single-family detached home lot is 60%.
  - b. Estate Single Family Detached Home: The maximum building coverage area for an estate single-family detached home lot is 60%.
  - c. Single Family Attached Homes: Single family attached homes are exempt from the maximum building coverage requirements.
2. Per Section 5.0201 of the City Code the maximum area for residential is capped at 40%.
  - a. Proposed residential P.U.D. residential buildable area is 20% of the gross area.

## I. Minimum Living Area

1. Residential: The minimum living area for any residential dwelling within the P.U.D. is provided below. The actual minimum living area square footage will exceed the minimum requirements below.
  - a. Single-family detached unit = 1,100 square feet
  - b. Single-family attached unit = 750 square feet

## J. Setbacks and Buffering

The purpose of the site development standards shall be to establish development standards and provisions as are appropriate to ensure proper development unique to the P.U.D. as established by the P.U.D. Master Development Plan.

1. Residential:
  - a. Single Family Detached Residential Homes: Minimum building setbacks and driveway setbacks for each housing type are detailed in the exhibits herein (Exhibits 5 - 10).
  - b. Estate Single Family Detached Residential Homes: Minimum building setbacks and driveway setbacks for each housing type are detailed in the exhibits herein (Exhibits 5 - 10).
  - c. Single Family Attached Residential Homes: Minimum building setbacks and driveway setbacks for each housing type are detailed in the exhibits herein (Exhibits 5 - 10).
  - d. Residential Lot Amenities: Setbacks for residential lot amenities, such as pools, spas, screen enclosures or patio structures are detailed in the exhibits herein (Exhibits 5 - 10).
  - d. Accessory Structures: Setbacks for accessory structures; pergola, arbor, trellis, tiki hut or gazebos, or as otherwise provided for in this document, will be setback with a side setback that will match the primary structure as are detailed in the exhibits herein (Exhibits 5 - 10).
  - e. Mechanical Equipment / Structures: Permanent generators are not permitted within the side yards of the residential homes. Permanent generators to have the same rear yard setback as required by the home it is located on. Air conditioning mechanical equipment, and pool / spa equipment to have a side yard minimum setback of one (1) feet to two (2) foot, depending on lot size. See Exhibits 5 - 9.

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- f. Lot Perimeter Treatments: Fences, and retaining walls are exempt from setbacks requirements.
1. Fences permitted on residential lots shall be decorative aluminum fence or PVC material up to a six (6) foot maximum height. Residents are restricted from changing fence material after installation within a residential lot.
    - a. Fences shall be located a minimum of five (5) feet rearward from the front façade of residential home.
    - b. Mixing of both fence materials is allowed in rear yards on a townhouse residential lot. Privacy screening fence to be ten (10) - feet in length in rear yards.
    - c. Single family residential homes to utilize aluminum fencing.
  2. Decorative aluminum fences are the only fence material permitted on residential lots that abut lakes. White PVC fence material is not permitted on lake front lots.
- g. Setback Encroachments:
1. Front porches are permitted to encroach up to six (6) feet into the required front setback.
  2. Sills, columns, architectural ornamental feature, chimneys, eaves, awnings, belt courses, cornices, eyebrows, balconies, bay windows, hurricane shutters are permitted to encroach up to three (3) feet into required setbacks.
- h. Perimeter P.U.D. Setback Encroachments:
1. Non - roofed structures including but not limited to fences, pools, patios and screen enclosures are permitted to encroach within the perimeter P.U.D. setback.

## **K. Off-Street Parking and Driveway Requirements**

1. Single family detached homes will have minimum two garage spaces and two driveway spaces. No parking is permitted within the paved street, but guests may temporarily park within parallel parking spaces distributed in certain locations within the proposed street tract areas. These parallel guest spaces will be located outside of the primary pavement areas (20' width), in order to allow for fire access in the event of an emergency. Swales are four (4) feet, minimum, in width, along with the two (2) foot gutter leaving a twenty (20) foot-wide clear paved street for emergency access. The twenty (20) foot pavement width meets the minimum criteria for City of Lauderhill Fire emergency access. Three spaces per unit will be provided for parking calculations.
2. Certain single family attached duplex residential homes will have 2 garage spaces and two driveway spaces. Three spaces per unit will be provided for parking calculations.
3. Certain single family attached townhome residential homes will have a single car garage along with one driveway space. The driveway spaces are counted toward the parking requirement. Two spaces per unit will be provided for parking calculations. End single family attached townhome residential homes will have wider driveways. Therefore, end single family attached townhomes will utilize three spaces per unit for parking calculations. Certain wider single family attached townhome residential homes will have two car garage spaces and two driveway spaces. Three spaces per unit will be provided for parking calculations. In addition, guest spaces are proposed within the single family attached parcel either in parallel parking spaces, within roadway tracts and or common areas along the roadway (parallel or head in) as well as overflow provided within the adjacent primary recreation facility.
4. Each single - family detached dwelling unit and each single - family attached dwelling unit can be constructed with at least a one - car garage with minimum dimensions of eleven (11) - feet wide by eighteen (18) feet deep.
5. Single Family detached home styles to utilize a 5' minimum driveway setback from any property line.
6. The primary recreation facility will provide for 1 space per 300 building square feet of proposed cabana / clubhouse.

**L. General Development Standards**

1. Roadways: All road tracts within the development will be private, and be maintained by the Home Owner Association(s).

Street	R O W Width	Pavement Width	Design	Sidewalks	Median	Note
Local	40'	20'	2' Gutter	5' -On one side	None	Single Family Attached Neighborhoods
Local	50'	20'	2' Gutter	5' -On both sides	None	Single Family Detached Neighborhoods

- a. All internal private roadway intersections to have a 10' x 10' sight triangle as measured at the road tract.
  - b. All internal private roadways that are dead end streets will be designed with a cul de sac, 'Y' turn around or a 'T' turn around, which will meet City of Lauderhill Fire Department requirements.
2. Finished Floor Elevation:
    - a. The minimum finished floor elevations will be located at or above one foot over the elevation designated on the FEMA Flood Insurance Rate Map. Garages will also be at or above the base flood elevation or garage flood vents will be provided. Should no base flood elevation apply, or after a Letter of Map Revision (LOMR) completed, finished floor elevations will be a minimum 18" over crown of adjacent road and the Broward County 100 year map Garage elevations will vary.

3. Pedestrian Connections:
  - a. The Inverrary Residential P.U.D. shall have pedestrian connections to all parcels within the P.U.D. and to surrounding areas.
  - b. Walkways, within vehicular road tracts, are to be a minimum of (5) five feet in width.
  - c. Pedestrian crossings at vehicular non-stop locations shall be clearly delineated by the use of striping, or decorative concrete pavers. Curb cuts are to be provided at all vehicular areas.
  - d. Areas shall be designated for bicycle parking to allow a minimum of eight (8) bicycles at the primary recreation center.
  - e. Entrances, into each residential Pod /neighborhood, will have walk way connection in order to connect to the surrounding public walkway connections. This connection provides the opportunities and linkages to surrounding Broward County Transit bus stops. The closest Broward County Transit stops are approximately ¼ to ¾ mile from the community entrances.
  - f. The Broward County Complete Streets program, which is applied to the surrounding public roadways, does not apply to private streets.
  - g. All dead end cul de sac streets and other internal streets are designed to have a minimum of one sidewalk within the road tract. Single family detached residential neighborhoods will have sidewalks on both sides of the right of way tract, while single family attached residential neighborhoods will have sidewalks on one side of the right of way tract. Residents can use both the walks and street areas for bike connections.

P.U.D.

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4. Sign Standards:

- a. All signs shall comply with the sign standards set forth by Schedule I of the City of Lauderdale Land Development Regulations, except as provided herein.
- b. Two permanent community monument signs shall be permitted at each the primary and secondary entrance, for each residential pod, to be a maximum height of eight (8) - feet. Sign face area maximum to be 72 square feet. See detail within Master Development Plan set.
- c. Smaller community identifier monument signs (obelisk type) shall be permitted within the medians of each residential pod entrances or at certain intersections. This signs are to be a maximum height of ten (10) feet.
- d. Permanent perimeter community signs will be provided in certain locations along surrounding existing major thoroughfares. Community signs will either be incorporated within a perimeter wall, if utilized or proposed, or freestanding. If community signs are freestanding, they will adhere to the requirements indicated below.
  - i. Maximum height is 10.'
  - ii. Sign face area maximum to be 100 square feet, per side if double sided sign.
  - iii. Two maximum per major thoroughfare frontage.
- e. Permanent monument sign shall be permitted at the primary entrance to the recreation amenity parcel. Signage to be a maximum height of eight (8) - feet. Sign face area maximum to be 72 square feet. See detail within Master Development Plan set.
- f. Temporary project signs, during construction and sales, are allowed, in addition to the requirements provided within the P.U.D. Developer Agreement.
  - i. 6 per street frontage.
  - ii. Maximum height 10.'
  - iii. Sign face area maximum to be 60 square feet each.
  - iv. Signs to be installed after site plan approval and removed within 1 month after Certificate of Occupancy is issued for last house in development.

5. Lake Areas: All lake areas located in the P.U.D. are intended for the purposes of storm water retention. Recreational access such as boating are not permitted including using any boat navigated with a separate tool, i.e. remote control, with the help radio frequencies, infrared, ultrasound, or Wi-Fi, motorized boats including remote control toy boats.

- a. Littoral plantings will be the perpetual maintenance responsibility of the homeowner's association and or C.D.D.

6. Vehicular Access Control Structures:

- a. Vehicular access control structures, such as remote gated entrance, guest call boxes may be located on any private roadway within the P.U.D. Gated entrances to be provided at entrances to restrict access to residents and their guests. Access will be controlled by devices such as card entry / call box, shall be located and designed to ensure convenient traffic flow, and to provide access by emergency service vehicles.
- b. Knox locks and or Click2Enter system will be provided at entrances that have vehicular access gates.

## **M. Landscape Design Standards**

### 1. General Landscape Requirements:

- a. All landscaping shall conform to the City of Lauderhill Land Development Regulations Schedule J, except as provided herein.
- b. All internal private roadway intersections to have a 10' x 10' vision clearance triangle where no landscaping is to be located other than low shrubs no taller than 36 inches.
- c. Street trees will be planted on residential lots and not within vehicular rights of ways to avoid conflicts with utilities, as well as long term issues with pavement.
- d. Landscape buffering along Inverrary linear greenway park will have clustered areas that will allow for views and vistas across the lake. No continuous hedge is proposed. Fencing will be provided directly adjacent to the new residential community in order to provide separation and to keep the linear greenway park open to surrounding existing Inverrary residents.

## **N. Building Architectural Design Standards**

### 1. Single Family Detached Residential Home Architectural & Performance Standards

- a. Refer to Architectural Standards Checklist attached to this document for minimum features required, as well as materials not permitted. See Exhibit 11.
- b. No two single family homes either next to or directly across the street to have the same architectural façade, as defined by the same floor plan and elevation style combination.
- c. No more than four - two story single family detached homes in a row.
- d. Each single family detached home front façade to have a minimum of one of the indicated architectural options listed within Exhibit 11 Architectural Minimum Standards and Guidelines. Options include porches / balconies, bay windows, covered entryway and second floor dormers.

### 2. Single Family Attached Residential Home Specific Architectural & Performance Standards

- a. Standards indicated herein are specific to only the single family attached residential homes within the Planned Unit Development and do not apply to any accessory buildings or structures such as recreation buildings.
- b. Standards indicated herein supersede the Schedule P City of Lauderhill Design Standards And Guidelines.
- c. Every single family attached residential home that has a primary entrance either on the front façade or side shall have access to the adjacent sidewalk.
- d. Every single family attached residential home shall have a covered front or side entrance.
- e. Homeowners Association documents will require at least one (1) vehicle be stored within a 2 car garage.
- f. The front facades can maintain the same building line.
- g. The front facades of no more than two (2) units shall maintain the same color.

### 3. See Exhibit 10 for additional details on Architectural Minimum Standards and Guidelines.

## **O. Drainage**

1. The Inverrary Residential P.U.D. property is comprised of +/- 129 net acres located in the City of Lauderhill, within the South Florida Water Management District (SFWMD) C-13 West Drainage Basin. The

**P.U.D.**

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property is within what is commonly referred to as the Inverrary master drainage system but there are no permits specifically associated with the subject property. Some properties within the master drainage system do have permits. An Environmental Resource Permit (ERP), Surface Water Management (SWM) Permit, and an Environmental Resource License (ERL) are required for this project. Applications for permits have not yet been submitted but will be processed through the Broward County Environmental Engineering and Permitting Division (BCEPD).

2. See Exhibit 4 for additional details.

**P. Utilities**

1. The City of Lauderdale Utility Systems Department has water and sewer plant capacity available to serve the above referenced proposed project.
2. All construction shall be in accordance with the City of Lauderdale Utility Systems Department's Technical Specifications and Construction Standards, latest revision, and with all applicable Florida Department of Environmental Protection rules and regulations.

**Q. Natural Resource Protection**

The P.U.D. shall comply with the Schedule K of the City of Lauderdale Land Development Regulations for natural resource protection and environmental regulations at the time of P.U.D. approval. Exotic species and prohibited species will be removed from the site and will not require a tree removal permit. Healthy native trees may be relocated, as feasible, with a tree removal permit. Any native trees that are not relocated will be replaced in accordance to canopy replacement values as per City of Lauderdale requirements. Trees planted as part of the golf course landscaping will not require mitigation. Review of historic aerial photography dating back to 1940 indicates that little, if any, tree canopy was present after completion of the Inverrary development. As such, no native historic trees pre-dating the development are present. Specimen size trees, if native and occurring prior to golf course development, have been inventoried and will be addressed in accordance with Code requirements.

**R. Sustainable Design Principles**

1. Residential homes will be furnished with Energy Star qualified appliances. Appliances include but are not limited to refrigerator, oven, and air conditioning units.
2. Residential homes will meet hurricane codes in place.
3. The Inverrary Residential P.U.D. will utilize onsite lakes for irrigation purposes.
4. Fitness trail proposed will be constructed of coquina or similar material in order to provide increased groundwater infiltration and to limit impervious surface areas, where feasible.
5. Certain residential vehicular access tracts, located primarily within the residential access streets in the single family attached residential neighborhoods, will include a five (5) - foot sidewalk on one side of the roadway in order to limit impervious surface areas, where feasible. This provides for a wider grass swale on the other side of the roadway to promote permeability, groundwater recharge and limit impervious surface areas.
6. Some use of native plant materials will be incorporated within the landscape buffers, common areas and residential lot areas in order to promote sustainable landscape material design concepts.
7. Electronic vehicle charging outlets are offered as optional for perspective home buyers purchasing single family detached homes.
8. Primary recreational parcel will include a minimum of one (1) electronic vehicle charging outlet for use of the new residents.
9. Solar panels and associated infrastructure can be added by a home owner addition after closing.

**Exhibit 1: Legal Description (Residential Pod Areas / Affected Areas)**

**Pod 1**

A TRACT OF LAND IN SECTION 22, TOWNSHIP 49 SOUTH, RANGE 41 EAST, PLAT OF FORT LAUDERDALE TRUCK FARMS, AS RECORDED IN PLAT BOOK 4, PAGE 31, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTH QUARTER CORNER OF SAID SECTION 22, SAID CORNER HAVING STATE PLANE COORDINATES NORTHING=666,287.4278 AND EASTING=904,330.3217, RELATIVE TO THE NORTH AMERICAN DATUM OF 1983, FLORIDA EAST ZONE, THENCE ON A GRID BEARING OF N89°32'52"E ALONG THE SOUTH LINE OF SAID SECTION 22, SAID LINE BEING THE BASIS OF BEARINGS, ALL BEARINGS HEREIN BEING RELATIVE THERETO, A DISTANCE OF 294.26 FEET TO A POINT OF INTERSECTION WITH THE WEST LINE OF THE CENTRAL AND SOUTHERN FLORIDA CONTROL DISTRICT CANAL C-13; THENCE N37°23'52"E ALONG SAID WEST LINE, A DISTANCE OF 1049.26 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE N37°23'52"E, A DISTANCE OF 1944.03 FEET TO A POINT OF INTERSECTION WITH THE SOUTH RIGHT-OF-WAY OF INVERRARY BOULEVARD, SAID RIGHT-OF-WAY BEING A NON-TANGENT CURVE CONCAVE NORTHEAST WITH A RADIUS OF 2904.79 FEET, A CHORD BEARING OF N49°23'49"W, A CHORD DISTANCE OF 193.99 FEET, AND A CENTRAL ANGLE OF 3°49'37"; THENCE NORTHWESTERLY ALONG SAID CURVE, A DISTANCE OF 194.02 FEET; THENCE DEPARTING SAID RIGHT-OF-WAY S00°24'20"E, A DISTANCE OF 38.95 FEET; THENCE S47°25'39" W, A DISTANCE OF 7.37 FEET TO A POINT OF CURVE TO THE RIGHT, SAID CURVE HAVE A RADIUS OF 100 FEET AND A CENTRAL ANGLE OF 45°36'42"; THENCE WESTERLY ALONG SAID CURVE, A DISTANCE OF 79.61 FEET TO A POINT OF REVERSE CURVE; SAID CURVE HAVING A RADIUS OF 65.00 FEET AND A CENTRAL ANGLE OF 15°00'11"; THENCE WESTERLY ALONG SAID CURVE, A DISTANCE OF 17.02 FEET; THENCE S78°02'10"W, A DISTANCE OF 622.22 FEET; THENCE S37°23'49"W, A DISTANCE OF 296.00 FEET TO A POINT OF CURVE TO THE LEFT, SAID CURVE HAVING A RADIUS OF 275.00 FEET AND A CENTRAL ANGLE OF 23°25'48"; THENCE SOUTHWESTERLY ALONG SAID CURVE, A DISTANCE OF 112.46 FEET; THENCE N76°01'59"W, A DISTANCE OF 28.12 FEET; THENCE S74°36'20"W, A DISTANCE OF 20.00 FEET TO A POINT OF INTERSECTION WITH THE EAST RIGHT-OF-WAY OF ENVIRON BOULEVARD; SAID RIGHT-OF-WAY BEING A NON-TANGENT CURVE CONCAVE WEST WITH A RADIUS OF 548.12 FEET, A CHORD BEARING OF S02°12'24"E, A CHORD DISTANCE OF 250.05 FEET, AND A CENTRAL ANGLE OF 26°22'11"; THENCE SOUTHERLY ALONG SAID CURVE, A DISTANCE OF 252.27 FEET TO A POINT OF REVERSE CURVE, SAID CURVE HAVING A RADIUS OF 1445.00 FEET AND A CENTRAL ANGLE OF 23°02'58"; THENCE SOUTHERLY ALONG SAID CURVE, A DISTANCE OF 581.31 FEET TO A POINT OF REVERSE CURVE, SAID CURVE HAVING A RADIUS OF 376.27 FEET AND A CENTRAL ANGLE OF 49°44'28"; THENCE SOUTHWESTERLY ALONG SAID CURVE, A DISTANCE OF 326.66 FEET; THE PREVIOUS THREE (3) COURSES BEING ALONG SAID EAST RIGHT-OF-WAY; THENCE DEPARTING SAID RIGHT-OF-WAY S52°36'08"E, A DISTANCE OF 0.03 FEET TO THE POINT OF BEGINNING.

SAID LANDS SITUATE IN THE CITY OF LAUDERHILL, BROWARD COUNTY, FLORIDA AND CONTAINING 17.559 ACRES OR 764,864 SQUARE FEET, MORE OR LESS.

P.U.D.

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**Pod 2**

A TRACT OF LAND IN SECTION 23, TOWNSHIP 49 SOUTH, RANGE 41 EAST, PLAT OF FORT LAUDERDALE TRUCK FARMS, AS RECORDED IN PLAT BOOK 4, PAGE 31, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, TOGETHER WITH A PORTION OF THE C-13 CANAL RIGHT-OF-WAY AS SHOWN ON THE PLAT OF INVERRARY COUNTRY CLUB, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 70, PAGE 46, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA;

COMMENCE AT THE EAST QUARTER CORNER OF SAID SECTION 23, SAID CORNER HAVING STATE PLANE COORDINATES NORTHING=668,990.2939 AND EASTING=912,189.2892, RELATIVE TO THE NORTH AMERICAN DATUM OF 1983, FLORIDA EAST ZONE, THENCE ON A GRID BEARING OF N01°24'32"W ALONG THE EAST LINE OF SAID SECTION 23, SAID LINE BEING THE BASIS OF BEARINGS, ALL BEARINGS HEREIN BEING RELATIVE THERETO, A DISTANCE OF 332.26 FEET TO A POINT OF INTERSECTION WITH THE NORTH LINE OF THE CENTRAL AND SOUTHERN FLORIDA CONTROL DISTRICT CANAL C-13; THENCE S89°22'21"W ALONG SAID NORTH LINE, A DISTANCE OF 3485.64 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE S89°22'21"W ALONG SAID LINE, A DISTANCE OF 1413.91 FEET; THENCE N00°37'39"E, A DISTANCE OF 100.00 FEET TO A POINT ON A CURVE CONCAVE NORTH, SAID CURVE HAVING A RADIUS OF 200.00 FEET, A CHORD BEARING OF N80°44'38"E, AND A CENTRAL ANGLE OF 17°15'26"; THENCE EASTERLY ALONG SAID CURVE, A DISTANCE OF 60.24 FEET; THENCE N72°06'55"E, A DISTANCE OF 99.61 FEET TO A CURVE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 655.16 FEET AND A CENTRAL ANGLE OF 7°03'33"; THENCE NORTHEASTERLY ALONG SAID CURVE, A DISTANCE OF 80.72 FEET; THENCE N00°00'11"W, A DISTANCE OF 371.27 FEET; THENCE N65°37'58"E, A DISTANCE OF 77.69 FEET; THENCE S86°22'46"E, A DISTANCE OF 508.01 FEET; THENCE S69°51'16"E, A DISTANCE OF 479.30 FEET; THENCE N81°50'32"E, A DISTANCE OF 225.16 FEET TO A POINT ALONG THE WEST RIGHT-OF-WAY OF AFOREMENTIONED INVERRARY BOULEVARD; THENCE S17°59'56"W, A DISTANCE OF 74.98 FEET TO A POINT OF CURVE TO THE LEFT, SAID CURVE HAVING A RADIUS OF 707.09 FEET AND A CENTRAL ANGLE OF 13°14'25"; THENCE SOUTHERLY ALONG SAID CURVE, A DISTANCE OF 163.40 FEET; THENCE S04°44'33"W, A DISTANCE OF 152.16 FEET TO THE POINT OF BEGINNING, THE PREVIOUS THREE (3) COURSES BEING ALONG SAID RIGHT-OF-WAY.

SAID LANDS SITUATE IN THE CITY OF LAUDERHILL, BROWARD COUNTY, FLORIDA AND CONTAINING 13.871 ACRES OR 604,241 SQUARE FEET, MORE OR LESS.

P.U.D.

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**Pod 3**

A TRACT OF LAND IN SECTION 23, TOWNSHIP 49 SOUTH, RANGE 41 EAST, PLAT OF FORT LAUDERDALE TRUCK FARMS, AS RECORDED IN PLAT BOOK 4, PAGE 31, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE EAST QUARTER CORNER OF SAID SECTION 23, SAID CORNER HAVING STATE PLANE COORDINATES NORTHING=668,990.2939 AND EASTING=912,189.2892, RELATIVE TO THE NORTH AMERICAN DATUM OF 1983, FLORIDA EAST ZONE, THENCE ON A GRID BEARING OF N01°24'32"W ALONG THE EAST LINE OF SAID SECTION 23, SAID LINE BEING THE BASIS OF BEARINGS, ALL BEARINGS HEREIN BEING RELATIVE THERETO, A DISTANCE OF 332.26 FEET TO A POINT OF INTERSECTION WITH THE NORTH LINE OF THE CENTRAL AND SOUTHERN FLORIDA CONTROL DISTRICT CANAL C-13; THENCE S89°22'21"W ALONG SAID NORTH LINE, A DISTANCE OF 1221.04 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE S89°22'21"W ALONG SAID LINE, A DISTANCE OF 2204.34 FEET TO A POINT OF INTERSECTION WITH THE EAST RIGHT-OF-WAY OF INVERRARY BOULEVARD; THENCE N04°44'33"E ALONG SAID RIGHT-OF-WAY, A DISTANCE OF 146.52 TO A POINT OF CURVE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 647.09 FEET AND A CENTRAL ANGLE OF 13°14'20"; THENCE NORTHERLY ALONG SAID CURVE, A DISTANCE OF 149.52 FEET; THENCE N17°59'56"E, A DISTANCE OF 104.45 TO THE SOUTHWEST CORNER OF TRACT A, THE MANORS OF INVERRARY, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 82, PAGE 48, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, THE PREVIOUS THREE (3) COURSES BEING ALONG SAID EAST RIGHT-OF-WAY; THENCE N82°03'14"E ALONG THE SOUTH LINE OF SAID TRACT A, A DISTANCE OF 318.18 FEET; THENCE N76°31'18"E, A DISTANCE OF 377.25 FEET; THENCE S89°30'24"E, A DISTANCE OF 280.05 FEET; THENCE S85°24'05", A DISTANCE OF 391.57 FEET; THENCE N68°25'58"E, A DISTANCE OF 417.85 FEET; THENCE N60°51'35"E, A DISTANCE OF 125.30 FEET TO THE SOUTHEAST CORNER OF SAID TRACT A, THE PREVIOUS SIX (6) COURSES BEING ALONG SAID SOUTH LINE; THENCE S54°27'10"E, A DISTANCE OF 33.19 FEET; THENCE S73°28'27"E, A DISTANCE OF 87.74 FEET; THENCE S12°22'52"W, A DISTANCE OF 23.99 FEET; THENCE S16°42'31"W, A DISTANCE OF 164.70; THENCE S73°44'55"E, A DISTANCE OF 132.55 FEET; THENCE S16°37'10"W, A DISTANCE OF 27.33 FEET; THENCE N89°19'30"E, A DISTANCE OF 92.82 FEET; THENCE S01°20'28"E, A DISTANCE OF 392.69 FEET TO THE POINT OF BEGINNING.

SAID LANDS SITUATE IN THE CITY OF LAUDERHILL, BROWARD COUNTY, FLORIDA AND CONTAINING 24.747 ACRES OR 1,077,978 SQUARE FEET, MORE OR LESS.

**Pod 4**

A TRACT OF LAND IN SECTION 23, TOWNSHIP 49 SOUTH, RANGE 41 EAST, PLAT OF FORT LAUDERDALE TRUCK FARMS, AS RECORDED IN PLAT BOOK 4, PAGE 31, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE EAST QUARTER CORNER OF SAID SECTION 23, SAID CORNER HAVING STATE PLANE COORDINATES NORTHING=668,990.2939 AND EASTING=912,189.2892, RELATIVE TO THE NORTH AMERICAN DATUM OF 1983, FLORIDA EAST ZONE, THENCE ON A GRID BEARING OF N01°24'32"W ALONG THE EAST LINE OF SAID SECTION 23, SAID LINE BEING THE BASIS OF BEARINGS, ALL BEARINGS HEREIN BEING RELATIVE THERETO, A DISTANCE OF 332.26 FEET TO A POINT OF INTERSECTION WITH THE NORTH LINE OF THE CENTRAL AND SOUTHERN FLORIDA CONTROL DISTRICT CANAL C-13; THENCE S89°22'21"W ALONG SAID NORTH LINE, A DISTANCE OF 426.45 FEET TO A POINT OF INTERSECTION WITH THE WEST RIGHT-OF-WAY OF ROCK ISLAND ROAD, SAID POINT BEING THE **POINT OF BEGINNING**; THENCE N01°25'09"W ALONG SAID RIGHT-OF-WAY, A DISTANCE OF 279.53 FEET TO A POINT OF CURVE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 7889.44 FEET AND A CENTRAL ANGLE OF 5°48'29"; THENCE NORTHERLY ALONG SAID CURVE AND SAID RIGHT-OF-WAY, A DISTANCE OF 799.75 FEET TO THE SOUTHEAST CORNER OF TRACT "A", "THE EXECUTIVE HOUSE OF INVERRARY", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 83, PAGE 14, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; THENCE DEPARTING SAID RIGHT-OF-WAY S42°46'47"W, A DISTANCE OF 176.49 FEET ALONG THE SOUTH LINE OF SAID TRACT "A"; THENCE N74°50'31"W ALONG SAID SOUTH LINE, A DISTANCE OF 153.31 FEET TO THE SOUTHWEST CORNER OF SAID TRACT "A"; THENCE N11°53'25"W, A DISTANCE OF 329.10 FEET; THENCE N23°01'35"W, A DISTANCE OF 658.00 TO THE NORTHWEST CORNER OF SAID TRACT "A", THE PREVIOUS TWO (2) COURSES BEING ALONG THE WEST LINE OF SAID TRACT "A"; THENCE S89°34'05"W ALONG THE EASTERLY EXTENSION OF THE SOUTH LINE OF TRACT "A", THE GREENS OF INVERRARY FIRST ADDITION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 81, PAGE 16, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, A DISTANCE OF 403.53 FEET TO A CORNER ALONG SAID SOUTH LINE; THENCE S27°04'41"W, A DISTANCE OF 232.57 FEET; THENCE N82°01'05"W, A DISTANCE OF 150.20 FEET, THE PREVIOUS TWO (2) COURSES BEING ALONG THE SOUTH LINE OF SAID TRACT "A"; THENCE S07°58'56"W, A DISTANCE OF 49.71 FEET TO A CORNER ALONG THE NORTH LINE OF TRACT A, THE MANORS OF INVERRARY, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 82, PAGE 48, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; THENCE S82°02'35"E ALONG SAID NORTH LINE, A DISTANCE OF 150.00 FEET TO THE NORTHEAST CORNER OF SAID TRACT A; THENCE S08°34'10"W, A DISTANCE OF 208.77 FEET; THENCE S21°05'09"E, A DISTANCE OF 85.44 FEET; THENCE S09°46'20"W, A DISTANCE OF 111.80 FEET; THENCE S11°41'41"E, A DISTANCE OF 387.33 FEET; THENCE S10°15'16"W, A DISTANCE OF 213.78 FEET TO THE SOUTHEAST CORNER OF SAID TRACT A, THE PREVIOUS FIVE (5) COURSES BEING ALONG THE EAST LINE OF SAID TRACT A; THENCE S54°27'10"E, A DISTANCE OF 33.19 FEET; THENCE S73°28'27"E, A DISTANCE OF 87.74 FEET; THENCE S12°22'52"W, A DISTANCE OF 23.99 FEET; THENCE S16°42'31"W, A DISTANCE OF 164.70; THENCE S73°44'55"E, A DISTANCE OF 132.55 FEET; THENCE S16°37'10"W, A DISTANCE OF 27.33 FEET; THENCE N89°19'30"E, A DISTANCE OF 92.82 FEET; THENCE S01°20'28"E, A DISTANCE OF 392.69 FEET TO A POINT ALONG THE NORTH LINE OF AFOREMENTIONED CANAL C-13; THENCE N89°22'21"E ALONG SAID NORTH LINE, A DISTANCE OF 794.59 FEET TO THE **POINT OF BEGINNING**.

SAID LANDS SITUATE IN THE CITY OF LAUDERHILL, BROWARD COUNTY, FLORIDA AND CONTAINING 36.048 ACRES OR 1,570,240 SQUARE FEET, MORE OR LESS.

P.U.D.

**Pod 5**

A TRACT OF LAND IN SECTION 23, TOWNSHIP 49 SOUTH, RANGE 41 EAST, PLAT OF FORT LAUDERDALE TRUCK FARMS, AS RECORDED IN PLAT BOOK 4, PAGE 31, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE EAST QUARTER CORNER OF SAID SECTION 23, SAID CORNER HAVING STATE PLANE COORDINATES NORTHING=668,990.2939 AND EASTING=912,189.2892, RELATIVE TO THE NORTH AMERICAN DATUM OF 1983, FLORIDA EAST ZONE, THENCE ON A GRID BEARING OF N01°24'32"W ALONG THE EAST LINE OF SAID SECTION 23, SAID LINE BEING THE BASIS OF BEARINGS, ALL BEARINGS HEREIN BEING RELATIVE THERETO, A DISTANCE OF 332.26 FEET TO A POINT OF INTERSECTION WITH THE NORTH LINE OF THE CENTRAL AND SOUTHERN FLORIDA CONTROL DISTRICT CANAL C-13; THENCE S89°22'21"W ALONG SAID NORTH LINE, A DISTANCE OF 426.45 FEET TO A POINT OF INTERSECTION WITH THE WEST RIGHT-OF-WAY OF ROCK ISLAND ROAD; THENCE N01°25'09"W ALONG SAID RIGHT-OF-WAY, A DISTANCE OF 279.53 FEET TO A POINT OF CURVE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 7889.42 FEET AND A CENTRAL ANGLE OF 3°26'47"; THENCE NORTHERLY THROUGH SAID CURVE AND ALONG SAID RIGHT-OF-WAY, A DISTANCE OF 474.56 FEET; THENCE DEPARTING SAID RIGHT-OF-WAY N89°56'32"W, A DISTANCE OF 122.82 FEET; THENCE N02°24'53"E, A DISTANCE OF 24.84 TO A POINT OF CURVE TO THE LEFT, SAID CURVE HAVING A RADIUS OF 70.00 FEET AND A CENTRAL ANGLE OF 66°46'47"; THENCE NORTHWESTERLY ALONG SAID CURVE, A DISTANCE OF 81.59 FEET; THENCE N03°03'22"E, A DISTANCE OF 118.76 FEET TO A POINT ALONG THE SOUTH LINE OF TRACT "A", THE EXECUTIVE HOUSE OF INVERRARY, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 83, PAGE 14, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; THENCE N74°50'31"W ALONG SAID SOUTH LINE, A DISTANCE OF 97.96 FEET TO THE SOUTHWEST CORNER OF SAID TRACT "A"; THENCE N11°53'25"W, A DISTANCE OF 329.10 FEET; THENCE N23°01'35"W, A DISTANCE OF 658.00 TO THE NORTHWEST CORNER OF SAID TRACT "A", THE PREVIOUS TWO (2) COURSES BEING ALONG THE WEST LINE OF SAID TRACT "A"; THENCE S89°34'05"W ALONG THE EASTERLY EXTENSION OF THE SOUTH LINE OF TRACT "A", THE GREENS OF INVERRARY FIRST ADDITION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 81, PAGE 16, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, A DISTANCE OF 403.53 FEET TO A CORNER ALONG SAID SOUTH LINE; THENCE S27°04'41"W, A DISTANCE OF 232.57 FEET; THENCE N82°01'05"W, A DISTANCE OF 150.20 FEET TO THE POINT OF BEGINNING, THENCE CONTINUE N82°01'05"W, A DISTANCE OF 160.79 FEET; THENCE N10°35'08"W, A DISTANCE OF 162.79 FEET; THENCE N88°47'08"W, A DISTANCE OF 631.13 FEET; THENCE S64°13'06"W, A DISTANCE OF 649.86 FEET; THENCE N57°02'46"W, A DISTANCE OF 213.83 FEET TO A POINT OF INTERSECTION WITH THE EAST RIGHT-OF-WAY OF INVERRARY BOULEVARD, THE PREVIOUS SIX (6) COURSES BEING ALONG THE SOUTH LINE OF SAID TRACT "A"; THENCE S17°33'16"E ALONG SAID RIGHT-OF-WAY, A DISTANCE OF 95.15 FEET TO A POINT OF CURVE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 599.24 FEET AND A CENTRAL ANGLE OF 19°02'38"; THENCE SOUTHERLY ALONG SAID CURVE, A DISTANCE OF 199.17 FEET; THENCE S02°05'05"W, A DISTANCE OF 122.05 TO THE NORTHWEST CORNER OF TRACT A, THE MANORS OF INVERRARY, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 82, PAGE 48, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, THE PREVIOUS THREE (3) COURSES BEING ALONG SAID RIGHT-OF-WAY; THENCE S83°40'56"E, A DISTANCE OF 182.53 FEET; THENCE S69°07'00"E, A DISTANCE OF 273.91 FEET; THENCE N70°31'25"E, A DISTANCE OF 354.19 FEET; THENCE N83°21'17"E, A DISTANCE OF 140.80 FEET; THENCE N63°01'12"E, A DISTANCE OF 692.11 FEET; THENCE S82°02'35"E, A DISTANCE OF 150.00 FEET TO THE

**P.U.D.**

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NORTHEAST CORNER OF SAID TRACT A, THE PREVIOUS SIX (6) COURSES BEING ALONG THE NORTH LINE OF SAID TRACT A; THENCE N7°58'56"E, A DISTANCE OF 49.71 FEET TO THE POINT OF BEGINNING.

SAID LANDS SITUATE IN THE CITY OF LAUDERHILL, BROWARD COUNTY, FLORIDA AND CONTAINING 15.248 ACRES OR 664,183 SQUARE FEET, MORE OR LESS.

P.U.D.

**Pod 6**

A TRACT OF LAND IN SECTION 23, TOWNSHIP 49 SOUTH, RANGE 41 EAST, PLAT OF FORT LAUDERDALE TRUCK FARMS, AS RECORDED IN PLAT BOOK 4, PAGE 31, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, TOGETHER WITH A PORTION OF THE C-13 CANAL RIGHT-OF-WAY AS SHOWN ON THE PLAT OF INVERRARY COUNTRY CLUB, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 70, PAGE 46, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA;

SAID LANDS BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTH QUARTER CORNER OF SAID SECTION 23, SAID CORNER HAVING STATE PLANE COORDINATES NORTHING=671,606.7566 AND EASTING=909,484.0311, RELATIVE TO THE NORTH AMERICAN DATUM OF 1983, FLORIDA EAST ZONE, THENCE ON A GRID BEARING OF S89°34'05"W ALONG THE NORTH LINE OF SAID SECTION 23, SAID LINE BEING THE BASIS OF BEARINGS, ALL BEARINGS HEREIN BEING RELATIVE THERETO, A DISTANCE OF 801.97 FEET TO A POINT OF INTERSECTION WITH THE WEST LINE OF SAID C-13 CANAL, SAID LINE BEING THE SAME AS THE EXTENDED EAST LINE OF TRACT "A", THE GREENS OF INVERRARY, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 80, PAGE 18, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; THENCE S14°16'48"W ALONG SAID LINE; A DISTANCE OF 273.39 TO THE SOUTHEAST CORNER OF SAID TRACT "A", SAID CORNER BEING THE POINT OF BEGINNING; THENCE N62°24'47"W, A DISTANCE OF 86.17 FEET; THENCE S82°31'19"W, A DISTANCE OF 91.79 FEET; THENCE N88°06'31"W, A DISTANCE OF 771.41 FEET TO THE NORTHEAST CORNER OF TRACT "B" OF SAID PLAT OF INVERRARY COUNTRY CLUB, THE PREVIOUS THREE (3) COURSES BEING ALONG THE SOUTH LINE OF SAID TRACT "A"; S67°41'10"W, A DISTANCE OF 291.93 FEET; THENCE S82°02'03"W, A DISTANCE OF 186.82 FEET; THENCE N81°59'46"W, A DISTANCE OF 50.49 FEET TO THE SOUTHWEST CORNER OF SAID TRACT "B", THE PREVIOUS THREE (3) COURSES BEING ALONG THE SOUTHERLY BOUNDARY OF SAID TRACT "B"; THENCE S28°07'49"W, A DISTANCE OF 106.09 FEET; THENCE S03°08'25"W, A DISTANCE OF 317.61 FEET; THENCE S22°50'12"W, A DISTANCE OF 55.90 FEET; THENCE N88°36'10"E, A DISTANCE OF 43.84 FEET; THENCE N85°11'09"E, A DISTANCE OF 666.85 FEET; THENCE S83°17'40"E, A DISTANCE OF 548.81 FEET; THENCE S77°48'39"E, A DISTANCE OF 517.00 FEET TO A POINT ALONG THE WEST RIGHT-OF-WAY OF INVERRARY DRIVE AS SHOWN ON "THE GREENS OF INVERRARY FIRST ADDITION", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 81, PAGE 16, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; THENCE S83°40'42"E, A DISTANCE OF 82.35 FEET TO A POINT ALONG THE WEST RIGHT-OF-WAY OF INVERRARY BOULEVARD; THENCE N02°07'13"E, A DISTANCE OF 117.78 FEET TO A POINT OF CURVE TO THE LEFT, SAID CURVE HAVING A RADIUS OF 536.29 FEET AND A CENTRAL ANGLE OF 19°03'34"; THENCE SOUTHERLY ALONG SAID CURVE, A DISTANCE OF 178.40 FEET; THENCE N17°33'14"W, A DISTANCE OF 168.00 FEET TO A POINT OF INTERSECTION WITH THE SOUTH LINE OF TRACT "A", SAID PLAT OF "THE GREENS OF INVERRARY FIRST ADDITION", THE PREVIOUS THREE (3) COURSES BEING ALONG SAID WEST RIGHT-OF-WAY; THENCE N57°02'46"W ALONG THE SOUTHWESTERLY LINE OF SAID TRACT "A", A DISTANCE OF 83.75 FEET; THENCE N42°02'27"W ALONG SAID SOUTHWESTERLY LINE AND THE EXTENSION THEREOF, A DISTANCE OF 194.00 FEET; THENCE N62°24'47"W, A DISTANCE OF 43.54 FEET TO THE POINT OF BEGINNING.

SAID LANDS SITUATE IN THE CITY OF LAUDERHILL, BROWARD COUNTY, FLORIDA AND CONTAINING 21.751 ACRES OR 947,483 SQUARE FEET, MORE OR LESS.







**Toll Free:** 888-285-3886  
**Phone:** 561-241-6455  
**Fax:** 561-241-5182  
**Website:** [www.schnars.com](http://www.schnars.com)

## Inverrary Residential PUD Drainage Statement

Date: March 27<sup>th</sup>, 2026  
Prepared by: Jeffrey T. Schnars, PE, President

### **Project Introduction/Location**

The proposed project is a redevelopment of the existing and inactive Inverrary Golf Course into a new 888-unit residential community. The site is comprised of six residential pods totaling 129.33 acres of land that is located south of NW 44<sup>th</sup> Street, north of the SFWMD C-13 canal, and west of Rock Island Road in the City of Lauderdale. The entire golf course site is anticipated to be demolished to accommodate the new residential community.

### **Existing Conditions / Proposed Improvements**

This surface water management permitting for the property falls under the jurisdiction of the South Florida Water Management District (SFWMD), Broward County, and the City of Lauderdale. The subject property is an inactive golf course, and based on our research, there is no SFWMD permit associated with it.

The property is located within what is commonly referred to as the Inverrary master drainage system, which has several direct connections to the C-13 canal. Although no permits are tied specifically to this site, some other properties within the Inverrary system do have permits to discharge into it.

This project will require an Environmental Resource Permit (ERP), Surface Water Management (SWM) Permit, and an Environmental Resource License (ERL). Applications for these permits have not yet been submitted but will be processed through the Broward County Environmental Engineering and Permitting Division (BCEPD).

The former golf course currently receives drainage runoff and piped connections from surrounding properties. The proposed project will continue to accommodate the existing drainage from adjacent properties and will provide additional drainage detention areas to mitigate impacts of the new development. Existing drainage areas will be reconfigured or expanded as necessary to maintain the existing level of service which will be demonstrated with a pre vs post development surface water management analysis.

Adjacent projects, "Sienna Club" and "Sienna Greens", meet the current level of service and hold SWM Permits and ERLs from BCEPD.

All finished floors will be above the 100 year – 3 day storm event, the Broward County current and Future Conditions 100-year map, 18" above the adjacent crown of road, and one foot above the FEMA map elevation. The crown of road will be above the 10 year – 1 day storm event. The following information and parameters have been prepared for the amendment site:

**PROJECT NAME:** Inverrary  
**SCHNARS ENG. PROJ. #:** 24148

	Pod 1	Pod 2	Pod 3	Pod 4	Pod 5	Pod 6
<b>SITE LOCATION INFORMATION</b>						
FEMA Elevation	7.0' NAVD	8.0 / 9.0' NAVD	7.0' NAVD	7.0' NAVD	8.0' NAVD	9.0' NAVD
FEMA Zone	AE	AH	AE / AH	AE	AH	AE / AH
BC Future 100-Year Flood Map 2060	9.0' NAVD					
BC 100-Year Flood EL.	8.0'-9.0' NAVD					
BC 10 Year Flood EL.	6.5' NAVD					
Future GW 2060 Elevation	3.0' NAVD	3.0' NAVD	2-3' NAVD	2-3' NAVD	3.0' NAVD	3.0' NAVD
BC Wetseason WTR Table Map	3.5' NAVD	3.5' NAVD	3.5' NAVD	3.5' NAVD	3.5' NAVD	4.5' NAVD
Average Existing EL.	8.3' NAVD	8.3' NAVD	7.4' NAVD	7.8' NAVD	7.4' NAVD	8.7' NAVD
Drainage Basin	C-13					
Wellfield Zones	Not in Zones 1, 2 or 3 for all Pods					
<b>DESIGN PARAMETERS</b>						
Road Crown Design Min. (10-Year / 1-Day Storm)	7.00' NAVD	7.50' NAVD	7.00' NAVD	7.00' NAVD	7.50' NAVD	8.50' NAVD
Finished Floor Design Min. (100-Year / 3-Day Storm)	9.00' NAVD	9.50' / 10.50' NAVD	9.00' NAVD	9.00' NAVD	9.50' NAVD	10.50' NAVD
Design Water Level	3.50' NAVD	3.50' NAVD	3.50' NAVD	3.50' NAVD	3.50' NAVD	3.50' NAVD

To establish a baseline permitting criteria, a pre-development analysis of both water quality and quantity will be performed. The site will be cleared and graded to accommodate the new community. Additional lake and detention areas will offset the loss of soil storage due to higher elevations or increased impervious area.

**Stormwater Water Quality Treatment**

Water quality treatment will be provided in accordance with the *SFWMD Applicant's Handbook Volumes I & II, effective June 28, 2024*. The project site is not located within a HUC-12 subwatershed that contains or is upstream of Outstanding Florida Waters or Impaired Waters. Therefore, treatment will be provided to achieve the following:

- A minimum 55 percent reduction in average annual total nitrogen loading;
- A minimum 80 percent reduction in average annual total phosphorus loading; and
- A reduction sufficient to ensure that post-development average annual nutrient loading does not exceed pre-development levels.

Because the proposed wet detention system within the residential pods incorporates existing lake surface area that will continue to serve adjacent communities, stormwater quality treatment within the residential pods will be limited to proposed dry retention areas.

The revitalized golf course includes a net increase in lake surface area relative to existing conditions. Only the net increase in lake area (i.e., proposed lake area minus existing lake area) is utilized for wet detention water quality treatment.

In accordance with Applicant's Handbook Volume I, Section 9.7.1, the residential pods provide sufficient nitrogen over-treatment to offset the revitalized golf course's nitrogen shortfall. Conversely, the revitalized golf course provides sufficient phosphorus over-treatment to offset the residential pods' phosphorus shortfalls.

### **Stormwater Attenuation**

The surface water management system will consist of a series of catch basins and pipe which will direct runoff to the proposed on-site lakes that will be designed to protect the proposed finished floor elevation above the calculated 100 year-3 day zero discharge storm elevation, the elevation specified by FEMA (Zone AE) + 1 foot, the Broward County Future Conditions 100 year flood elevation, or 18 inches above the average adjacent road crown, whichever is higher. According to the SFWMD C-13 West basin criteria, off-site discharge will be limited to 75.9 CSM at the 25 year – 3 day storm event. However, since the Inverrary master drainage system currently flows unrestricted, off-site discharge will be limited to the pre-development stages. The crown of the on-site roadway will be designed above the Broward County 10 year flood map elevation and the calculated 10 year - 1 day storm event elevation.

### **Drainage Summary**

An analysis will be prepared comparing the Pre-Development and Post-Development calculations for water quality elevation and zero-discharge stage elevations for the 100-year/3-day, 25-year/3-day, and 10-year/1-day storm events. This analysis will demonstrate that the post-development condition provides improved water quality, increased surface water storage capacity, and lower storm stage elevation than the pre-development site.

### Federal Emergency Management Agency (FEMA) Flood Zones

According to the FEMA FIRM Community Panel Number 12011C0361J (effective 7/31/2024) (see “Maps”), as published by the Federal Emergency Management Agency (FEMA), the site contains the following flood designations: Zone X, Zone AE, base flood elevations of 7’ – 9’, and Zone AH, base flood elevations 7’ – 9’.

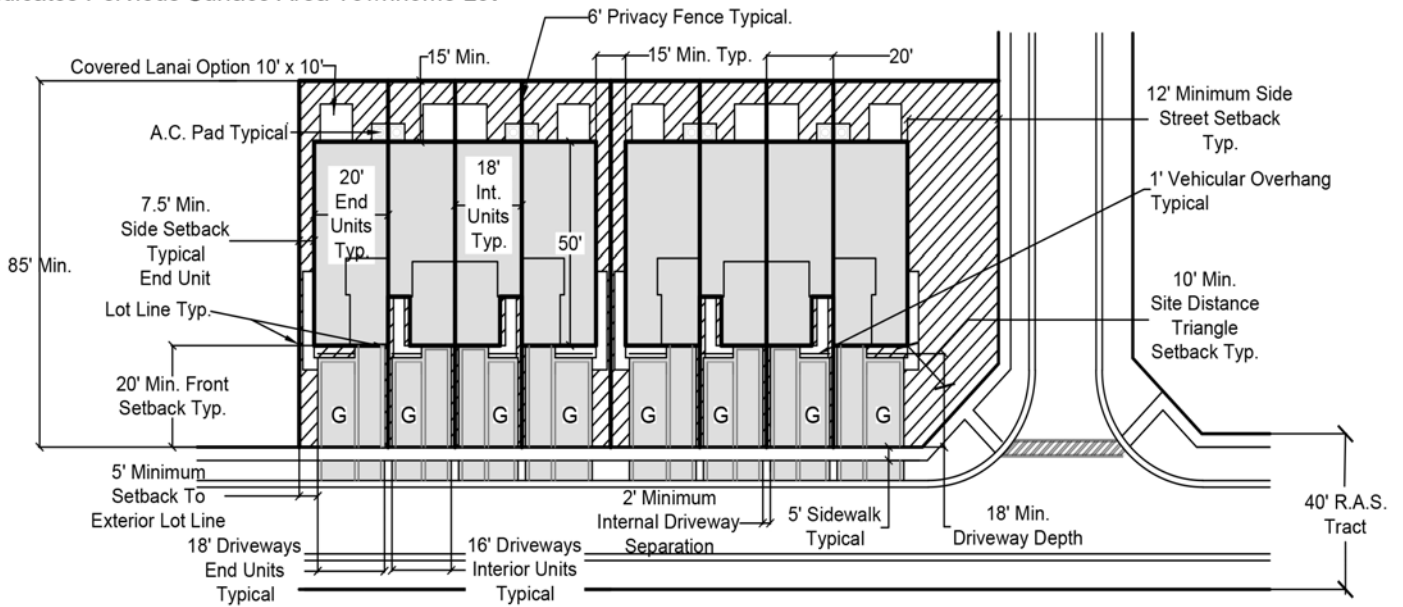
The minimum finished floor elevations, including attached garages, will be located at or higher than one foot above the elevation designated on the FEMA Flood Insurance Rate Map.

**Exhibit 5: Typical 18' / 20' x 85' Minimum Single Family Attached / Townhome Property Regulations Detail**

Note: R.A.S. - Residential Access Street

G = Guest Space. Each Unit Contains 2 Parking Spaces / Unit - Single Car Garage & One Driveway Space Towards Minimum Parking Calculation  
End Townhome Driveways Will Have Wider Driveways = 3 Parking Spaces / End Townhome Unit

/// - Indicates Pervious Surface Area Townhome Lot



	Nominal Lot Width*	Front Setback Minimum	Side Setback Minimum	Side Street Setback Minimum	Site Distance triangle at intersections Setback Minimum	Rear Setback Minimum
18' / 20' Single Family Attached / Townhome	18' / 20'	20' Front Load Gar.	7.5'	12'	10'	15'

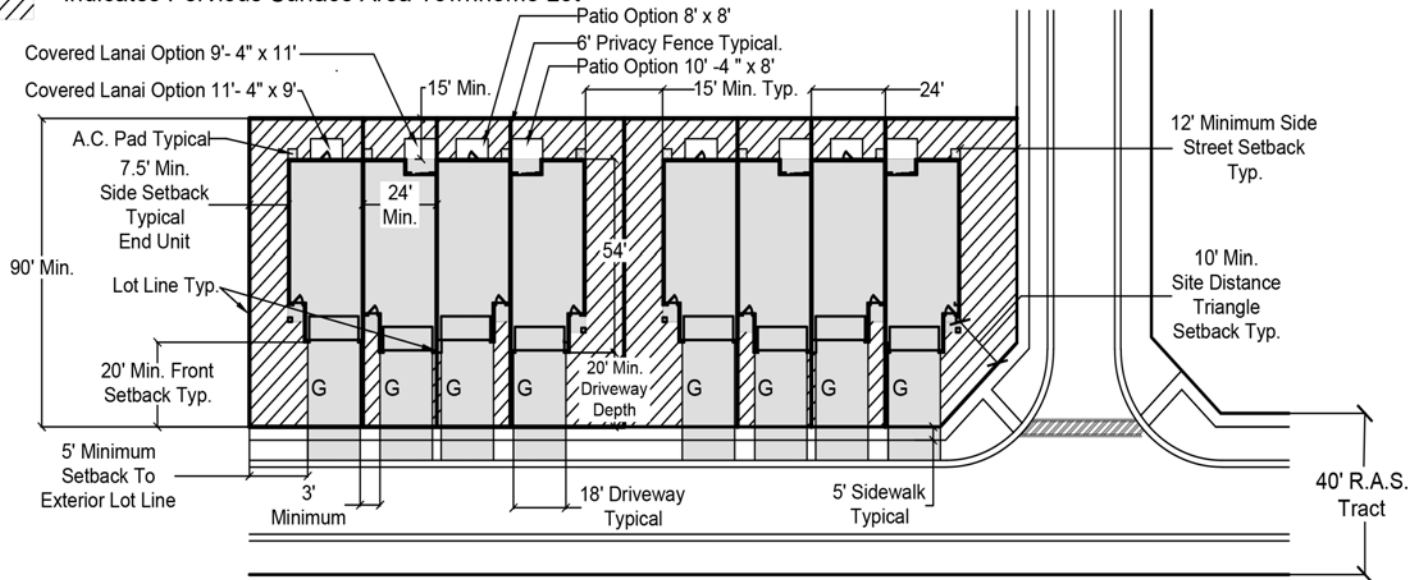
Notes: \* Nominal Lot width refers to lot width category and not actual dimension. Measured at the front or rear setback line perpendicular to the driveway, whichever is less.  
No lots may be resubdivided to be smaller than as depicted on the approved site plan.  
Permanent generators to be located in rear yard and are prohibited in side yards.  
R.A.S. – Residential Access Street

**Exhibit 6: Typical 24' x 90' Minimum Single Family Attached / Townhome Property Regulations Detail**

Note: R.A.S. - Residential Access Street

G = Guest Space. Each Unit Contains 3 Parking Spaces / Unit - Two - Car Garage & One Driveway Space Towards Minimum Parking Calculation

/// - Indicates Pervious Surface Area Townhome Lot



	Nominal Lot Width*	Front Setback Minimum	Side Setback Minimum	Side Street Setback Minimum	Site Distance triangle at intersections Setback Minimum	Rear Setback Minimum
24' Single Family Attached / Townhome	20'	20' Front Load Gar.	7.5'	12'	10'	15'

Notes: \* Nominal Lot width refers to lot width category and not actual dimension. Measured at the front or rear setback line perpendicular to the driveway, whichever is less.

No lots may be resubdivided to be smaller than as depicted on the approved site plan.


Permanent generators to be located in rear yard and are prohibited in side yards.

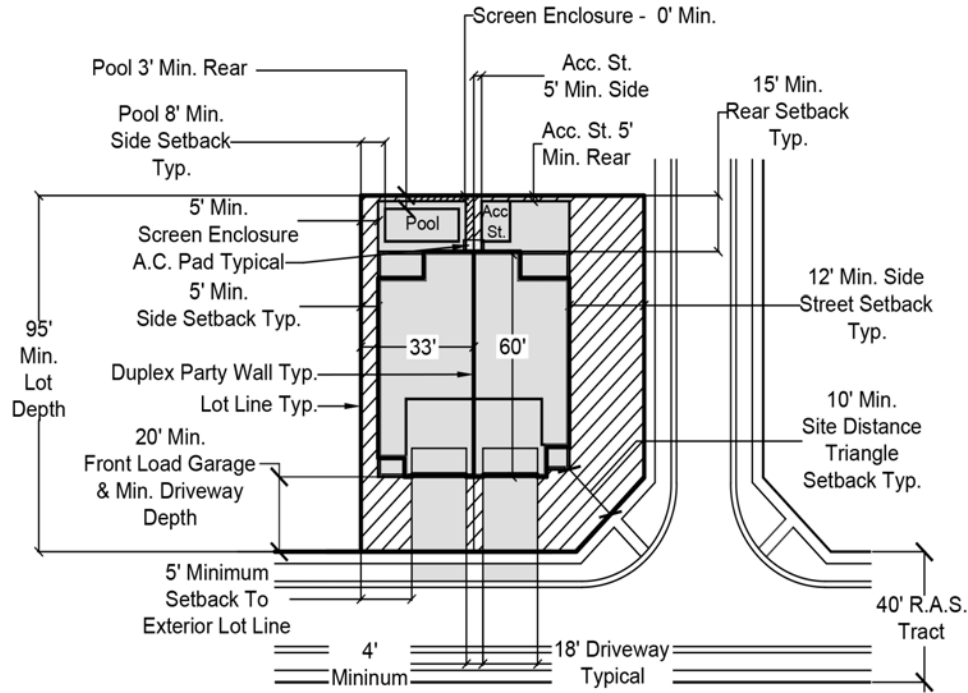
R.A.S. – Residential Access Street

**Exhibit 7: Typical Single Family Attached Duplex Property Regulations Detail**

Note: R.A.S. - Residential Access Street Tract

Each Unit Contains 3 Parking Spaces / Unit - Two - Car Garage & One Driveway Space Towards Minimum Parking Calculation

 - Indicates Pervious Surface Area Duplex Lot



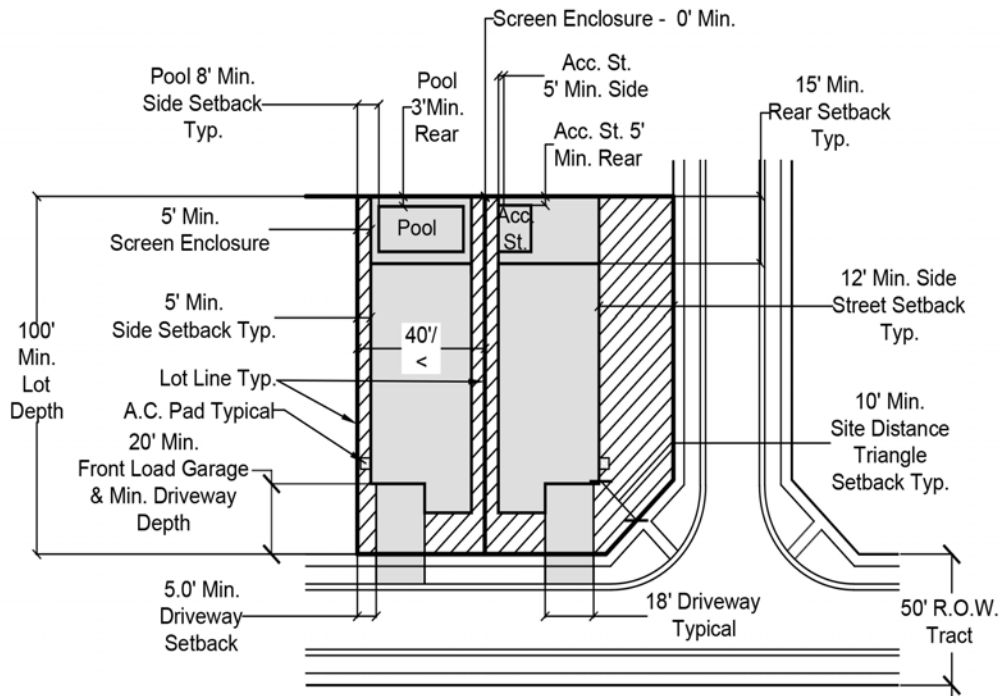
	Lot Width*	Front Setback Minimum	Side Setback Minimum / A.C. Pad Side Setback Minimum	Side Street Setback Minimum	Site Distance triangle at intersections Setback Minimum	Rear Setback Minimum	All screen enclosures with screen roof Side Setback Minimum / Rear Setback Minimum	Pool Side / Rear Setback Minimum	Accessory Structure Side / Rear Setback Minimum
Single Family Attached Duplex Home	33'	20' Front Load Garage	5' / 1'	12'	10'	15'	5' standard / 0'	8' to pool water edge / 3'	5' / 5'

Notes: \* Nominal Lot width refers to lot width category and not actual dimension. Measured at the front or rear setback line perpendicular to the driveway, whichever is less.  
See Article III, Section 5.1 for details of allowable accessory structures.  
No lots may be resubdivided to be smaller than as depicted on the approved site plan.  
Permanent generators to be located in rear yard and are prohibited in side yards.  
R.A.S. – Residential Access Street

**Exhibit 8: Typical Single Family Detached Home Lot Width 40' Or Less Property Regulations Detail**

**Note:** Each Unit Contains 3 Parking Spaces / Unit - Two - Car Garage & One Driveway Space Towards Minimum Parking Calculation

 - Indicates Pervious Surface Area Single Family Detached Lot



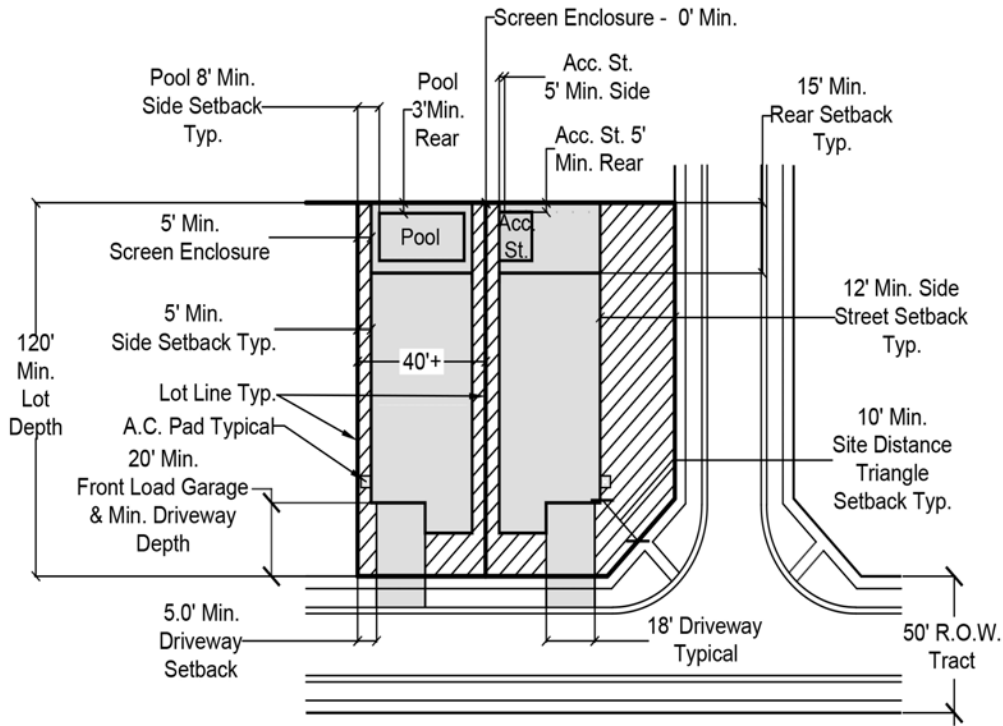
	Nominal Lot Width*	Front Setback Minimum	Side Setback Min. / A.C. Pad Side Setback Minimum	Side Street Setback Minimum	Site Distance triangle at intersections Setback Minimum	Rear Setback Minimum	All screen enclosures with screen roof Side Setback Minimum / Rear Setback Minimum	Pool Side / Rear Setback Minimum	Accessory Structure Side / Rear Setback Minimum
Single Family Detached Home Lot Width 40' <	40' Wide Or Less	15' Non - Garage Portion of dwelling / 20' Front Load Garage	5' / 1'	12'	10'	15'	5' standard / 0'	8' to pool water edge / 3'	5' / 5'
Maximum Lot Coverage Impervious Areas = 70%									

**Notes:** \* Nominal Lot width refers to lot width category and not actual dimension. Measured at the front or rear setback line perpendicular to the driveway, whichever is less.  
See Article III, Section 5.1 for details of allowable accessory structures.  
No lots may be resubdivided to be smaller than as depicted on the approved site plan.

**Exhibit 9: Typical Single Family Detached Home Lot Width 40' Or Greater Property Regulations Detail**

**Note:** Each Unit Contains 3 Parking Spaces / Unit - Two - Car Garage & One Driveway Space Towards Minimum Parking Calculation

 - Indicates Pervious Surface Area Single Family Detached Lot



	Nominal Lot Width*	Front Setback Minimum	Side Setback Min. / A.C. Pad Side Setback Minimum	Side Street Setback Minimum	Site Distance triangle at intersections S e t b a c k Minimum	Rear Setback Minimum	All screen enclosures with screen roof Side Setback Minimum / Rear Setback Minimum	Pool Side / Rear Setback Minimum	Accessory Structure Side / Rear Setback Minimum
Single Family Detached Home Lot Width 60' <	40'+ Wide	15' Non - Garage Portion of dwelling / 20' Front Load Garage	5' / 1'	12'	10'	15'	5' standard / 0'	8' to pool water edge / 3'	5' / 5'
Maximum Lot Coverage Impervious Areas = 70%									


**Notes:** \* Nominal Lot width refers to lot width category and not actual dimension. Measured at the front or rear setback line perpendicular to the driveway, whichever is less.

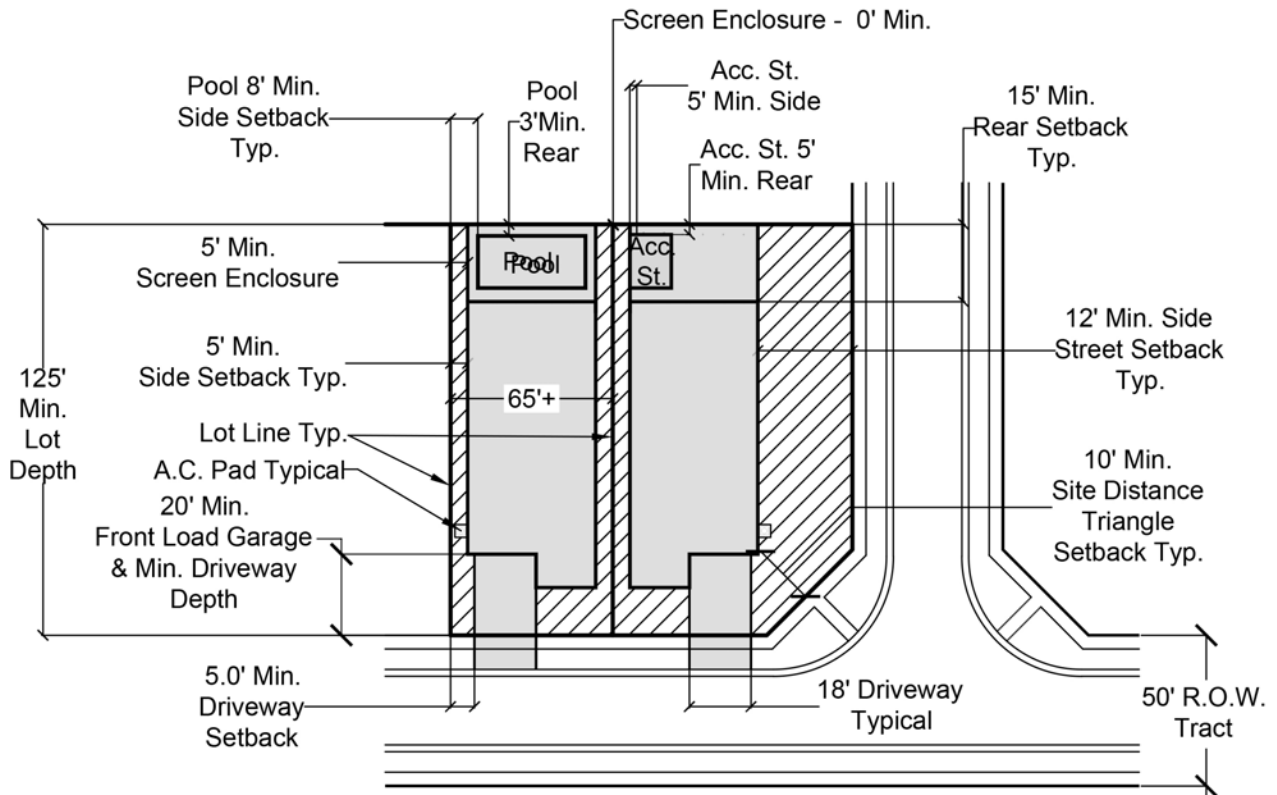
See Article III, Section 5.1 for details of allowable accessory structures.

No lots may be resubdivided to be smaller than as depicted on the approved site plan.

**Exhibit 10: Typical Estate Single Family Detached Home Lot 65' Or Greater Property Regulations Detail**

**Note:** Each Unit Contains 3 Parking Spaces / Unit - Two - Car Garage & One Driveway Space Towards Minimum Parking Calculation Pod 1 / Phase A To Include Estate Lots (65' x 125').

 - Indicates Pervious Surface Area Single Family Detached Lot



	Nominal Lot Width*	Front Setback Minimum	Side Setback Min. / A.C. Pad Side Setback Minimum	Side Street Setback Minimum	Site Distance triangle at intersections Setback Minimum	Rear Setback Minimum	All screen enclosures with screen roof Side Setback Minimum / Rear Setback Minimum	Pool Side / Rear Setback Minimum	Accessory Structure Side / Rear Setback Minimum
Estate Single Family Detached Home Lot Width 65' +	65'+ Wide	15' Non - Garage Portion of dwelling / 20' Front Load Garage	5' / 1'	12'	10'	15'	5' standard / 0'	8' to pool water edge / 3'	5' / 5'
Maximum Lot Coverage Impervious Areas = 70%									

**Notes:** \* Nominal Lot width refers to lot width category and not actual dimension. Measured at the front or rear setback line perpendicular to the driveway, whichever is less. See Article III, Section 5.1 for details of allowable accessory structures.

## Exhibit 11: Inverrary Residential Architectural Standards Checklist

Lot Number: \_\_\_\_\_

### I. INTRODUCTION

The following are the architectural requirements of each home in the Inverrary Residential community.

### II. GENERAL CRITERIA FOR STRUCTURES

#### Height:

\_\_1. No home may exceed two (2) stories in height in accordance with the Inverrary Residential Planned Unit Development land development regulations.

- 35 ft maximum for all single-family detached homes
- 35 ft maximum for all single family attached townhome structure

#### Above Ground Storage Tanks:

\_\_1. No above ground storage tanks shall be allowed.

#### Driveways, Walkways, and Rear Patios:

\_\_1. Driveways are constructed in such a manner so that the flare of the driveway at the adjoining street curb, gutter, or pavement does not extend beyond straight-line projection of the side property line of the Lot served by the driveway.

\_\_2. Approved Material

##### Materials permitted for driveways:

\_\_1. Concrete paver blocks

##### Materials NOT permitted for driveways:

- Plain concrete
- Asphalt
- Mulch
- Gravel
- Chattahoochee Stone

#### Generators:

\_\_1. Generator located in rear yard exterior of the home and is screened by a wall and / or planting (as allowed by Florida Building Code). It is screened from the adjacent Lot and street and complies with setback requirements for the dwelling.

\_\_2. Landscape plans provide screening to highest point of generators.

\_\_3. Not Applicable 2

**Screen Enclosures:**

1. Screen enclosure is in compliance with the established setback for the community in accordance to the Inverrary Residential Planned Unit Development land development regulations.

2. Not Applicable

**Permitted screen colors:**

1. Dark bronze

2. Black

**Permitted frame colors:**

1. Dark Bronze

2. Black

3. White

\*Permitted screen colors must match permitted frame colors. 3

### III. ARCHITECTURAL GUIDELINES

#### Elevations:

\_\_1. Elevation styles within the community match variations of the Craftsman, Florida Modern and Florida Mediterranean.

#### **A minimum of one of the following homeowner architectural options are provided:**

\_\_1. Porches/Balconies

\_\_2. Bay Windows

\_\_3. Covered Entryway

\_\_4. Awning and decorative shutters have been designed as an integral part of the building, based upon the architectural style selected by the homeowner.

#### **Diversity and Avoiding Architectural Monotony:**

\_\_1. No home that is the same as another home is located side by side or directly across the street from one another, i.e.

a. Home is a different floor plan.

b. If of the same architectural style, home has different elevation.

c. If of the same floor plan, architectural style and / or elevation design is different.

\_\_2. Adjacent homes on either side have different architectural styles or elevations

\_\_3. Color Package on adjacent homes sites (either side) and directly access the street are different.

#### **Colors:**

\_\_1. All exterior colors, including original and future colors are in compliance with the approved color palette for the community

\_\_2. Colors match the palettes designated to the Craftsman, Florida Nautical, and Florida Modern, style of homes

\_\_1. Craftsman

\_\_2. Florida Nautical

\_\_3. Florida Modern

**Building Finishes:**

**Finishes Permitted:**

- \_\_1. Painted Stucco
- \_\_2. Accent scored stucco
- \_\_3. Natural stone, pre-cast stone, faux stone
- \_\_4. Wood
- \_\_5. A. Shingle siding and board batten siding

**Finishes NOT Permitted:**

- Unfinished concrete block
- Reflective or mirrored glass
- Raw aluminum
- Hardboard or particle board

**Roofs:**

- \_\_1. Roof has a minimum pitch of 3:12.

**Materials Permitted:**

- \_\_1. Flat or "S" color impregnated concrete tile
- \_\_2. Standing seam prefinished metal

**Materials NOT Permitted:**

- Aluminum shingles
- Wood shingles or shakes
- Roll roofing

**Roof Vents and Chimneys:**

- \_\_1. Roof-mounted vents or stacks have been painted to match the color of the roof.

**Accessory Structures and Enclosures:**

- \_\_1. All accessory structures, including but not limited to, cabanas, BBQs, and covered patios are compatible with the principle structure in both material and configuration.
- \_\_2. All accessory structures maintain required setbacks and standards, in accordance to the Inverrary Residential Planned Unit Development land development regulations.
- \_\_3. Enclosed storage areas erected separate from the principal structure are architecturally consistent with the principal structure.
- \_\_4. No garage has been erected separate from the dwelling.

**Walls, Fences and Gates:**

**Wall/Fence materials permitted:**

Galvanized steel picket

1. Aluminum picket

2. Wrought Iron

3. PVC Vinyl

4. Not Applicable

**Wall/fence materials NOT permitted:**

- Wood

**Fence colors permitted;**

1. Black

2. Bronze

3. Not Applicable